



The City of Daytona Beach
AGENDA
Planning Board Meeting
6:00 PM - Thursday, June 26, 2025
City Commission Chambers
Website: www.codb.us

	Page
1. CALL TO ORDER	
2. ROLL CALL	
3. APPROVAL OF MINUTES	
3.A. Approval of the Minutes of the _ Planning Board Meeting held at 301 S. Ridgewood Avenue, Daytona Beach, FL 32114.	4 - 9
3A - PB Draft Minutes 05222025	
4. NEW ITEMS	
4.A. Pearl Beach Club Planned Development – General (PD-G) Rezoning - DEV2024-573 (Quasi-Judicial Hearing)	10 - 109
A request by Robert A. Merrell III, Esq., Cobb Cole, on behalf of Daytona Beach 1299, LLC (property owner) to rezone 2.2± acres of property from Tourist Accommodations (T-1) to Planned Development-General (PD-G), for the development of a hotel. The property is located at 1299 S Atlantic Avenue.	
4A -Pearl Beach Club PD	
4.B. Florida Logistics Center Large-Scale Comprehensive Plan Amendment (LSCPA) - DEV2024-379 (Legislative Hearing)	110 - 184
A request by Jessica Gow, Esq., of Cobb Cole & Associates, on behalf of FL P40, LLC (the property owner), for approve a Large-Scale Comprehensive Plan Amendment (LSCPA). The amendment proposes changing the future land use designation of a 276.5± acres of property from Existing Potential Parks (EX-PP), General Industrial (GI), Interchange Commercial (IC), Level 1 Residential (L1-R), Mixed Use (MU), and Office Transition (OT) to Mixed Use (MU). It also includes amendments to the Neighborhood R development policies to allow up to 6,000,000 square feet of office and light industrial uses, 100,000 square feet of retail, and up to 1,500 residential units (approximately 5.4 units per acre). The property is generally located south of Beville Road and west of Williamson Boulevard. The applicant is also requesting to rezone the site to Planned Development–General (PD-G).	

[4B - Florida Logistics LSCPA](#)

- 4.C. Florida Logistics Center - Planned Development-General (PD-G) Rezoning - DEV2024-378 (Quasi-Judicial Hearing)** 185 - 239

A request by Jessica Gow, Esq., of Cobb Cole & Associates, on behalf of FL P40, LLC (the property owner), to rezone 276.5± acres of property from Agricultural (AG) to Planned Development-General (PD-G) to accommodate a regional industrial park and associated mixed-use development. The property is generally located south of Beville Road and west of Williamson Boulevard.

[4C - Florida Logistics Rezoning](#)

- 4.D. Drury Hotel Planned Development – General (PD-G) Rezoning - DEV2025-066 (Quasi-Judicial Hearing)** 240 - 292

A request by Robert A. Merrell III, Esq., Cobb Cole, on behalf of Drury Development Corporation (property owner) to rezone 4.6± acres of property from Tourist / Highway Interchange (T-5) to Planned Development-General (PD-G), for the development of a hotel. The property is located at 2600 and 2610 West International Speedway Boulevard.

[4D - Drury Hotel PD](#)

5. OTHER BUSINESS

- a. Downtown/Balough Road Redevelopment Area Board Report
- b. Midtown Redevelopment Area Board Report
- c. Beachside Redevelopment Area Board Report
- d. Affordable Housing Advisory Committee (AHAC) Report
- e. Public Comments
- f. Staff Comments - **Board needs to select a representative for Downtown Redevelopment Board.**
- g. Board Members Comments

6. ADJOURNMENT

NOTICES - Pursuant to Section 286.0105, Florida Statutes, if any person decides to appeal any decision made by the Planning Board at this public meeting, such person will need a record of the proceedings and, for that purpose, such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The city does not prepare or provide such a record. For special accommodations, please notify the City Clerk's Office at least 72 hours in advance. (386) 671-8023 Help for the hearing impaired is available through the Assistive Listening System. Receivers can be obtained from the City Clerk's Office.



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In accordance with the Americans with Disabilities Act (ADA), persons with a disability needing a special accommodation to participate in the Planning Board meeting should contact the City Clerk's Office, 301 S. Ridgewood Ave, Room 210, Daytona Beach, FL 32114, Telephone: 386-671-8023, Email: clerk@codb.us not later than 72 hours prior to the proceedings. If you are hearing or voice impaired contact the relay operator at 7-1-1 or 1-800-955-8771.

MINUTES

REGULAR MEETING – PLANNING BOARD

May 22, 2025

Minutes of the Regular Meeting of the Planning Board for the City of Daytona Beach, Florida, held on Thursday, May 22, 2025, at 6:00 p.m. in the Commission Chambers, City Hall, 301 South Ridgewood Avenue, Daytona Beach, Florida.

1. **Call to Order**

Mr. McLean, Chair, called the meeting to order.

2. **Roll Call**

Board Members Present:

Tony Barhoo	Present
Josephine Callis	Present
Michael McLean	Present
Milverton Robinson	Present
Tony Servance	Present
Cathy Washington	Present
Vernon Weatherholtz	Present

Also Present:

Dennis Mrozek, Planning Director
David Russell, City Attorney
Danalee Petyk, Senior Planner
Luke Rinkus, Planner
Luci Brito, Office Specialist

3. **Approval of the Minutes** - April 24, 2025

Approval of the Minutes of the April 24, 2025, Planning Board Meeting held at City Hall, 301 South Ridgewood Avenue, Daytona Beach, Florida.

A motion was made by Mr. Barhoo, seconded by Mr. Weatherholtz to approve the minutes with corrections. The motion carried (7-0) with the breakdown as follows:

Tony Barhoo	Yes
Josephine Callis	Yes
Michael McLean	Yes
Milverton Robinson	Yes
Tony Servance	Yes
Cathy Washington	Yes
Vernon Weatherholtz	Yes

4. Items

A. 660 Mason Avenue - Planned Development–General (PD-G) Rezoning DEV2023-333 (Quasi-Judicial Hearing)

A request by Patrick Kennedy on behalf of 340 Marion, LLC (property owner) to rezone 2.33± acres of property from Business Automotive (BA) and Single-Family Residential-5 (SFR-5) to Planned Development General (PD-G), to bring an existing development into compliance and allow for commercial or multifamily uses on the property.

Staff Presentation:

Danalee Petyk , Senior Planner presented the staff report which was included as part of the packet. A request by Patrick Kennedy on behalf of 340 Marion, LLC (property owner) to rezone 2.33± acres of property from Business Automotive (BA) and Single-Family Residential-5 (SFR-5) to Planned Development General (PD-G), to bring an existing development into compliance and allow for commercial or multifamily uses on the property. The property is located at 660 Mason Avenue.

Mr. Robinson would like to see landscaping added to the site.

Ms. Petyk advised that the applicant has plans to add landscaping to the perimeter of the building.

Applicant Presentation:

Patrick Kennedy, 673 3rd Avenue, Palatka, Fl. on behalf of 340 Marion L.L.C. was present to answer questions.

Mr. Robinson wanted to know what type of business would be opening on this site.

Mr. Kennedy stated he was not sure what the applicant had in mind for the future of the property.

Mr. Weatherholtz stated he heard the building was being condemned.

Mr. Kenedy advised he had not heard of any condemnation issues with the building. He stated the building would be brought up to code.

A motion was made by Mr. Barhoo, seconded by Ms. Washington, to approve A. 660 Mason Avenue - Planned Development–General (PD-G) Rezoning DEV2023-333. The motion carried (6-1) with the breakdown as follows:

Tony Barhoo	Yes
Josephine Callis	Yes
Michael McLean	Yes
Milverton Robinson	Yes
Tony Servance	Yes
Cathy Washington	Yes
Vernon Weatherholtz	Nay

B. Madison Oaks - Planned Development-General (PD-G) Rezoning DEV2024-166 (Quasi-Judicial Hearing)

A request by Jessica Gow, Esq., Cobb Cole, on behalf of First Core 92425, LLC (property owner) to rezone 4.98± acres of property from the Madison Oaks Residential Planned Unit Development to Planned Development-General (PD-G), for the development of a 32-unit townhouse subdivision.

Staff Presentation:

Danalee Petyk , Senior Planner presented the staff report which was included as part of the packet. A request by Jessica Gow, Esq., Cobb Cole, on behalf of First Core 92425, LLC (property owner) to rezone 4.98± acres of property from the Madison Oaks Residential Planned Unit Development to Planned Development-General (PD-G), for the development of a 32-unit townhouse subdivision. The property is located south of Madison Avenue, north of North Street, east of the terminus of Margaret Drive.

Applicant Presentation:

Rob Merrell Esq., Cobb Cole, on behalf of First Core 92425, LLC (property owner). Was present to answer any questions.

Mr. McLean asked if the modification to the lot and building size was necessary.

Mr. Merrell stated to work around the trees some things had to be changed such as lot and building size. The applicant also wants to allow for a lot of common spaces within the site.

Mr. Barhoo wanted to know how much of an impact the surrounding neighborhood can expect once construction begins.

Mr. Merrell stated the traffic impact is obvious due to the addition of 32 units. He stated the applicant has worked out the drainage and traffic impacts. Even though that is not normally done at this stage of approval.

Mr. Weatherholtz wanted to know the dimensions of the driveways. He is concerned about vehicles parking on the street.

Jake Stare 300 Interchange Blvd. Ormond Beach on behalf of the applicant. He stated all the units will have a one car garage and a driveway of about 25 feet for a second vehicle.

Mr. Weatherholtz wanted to know if the retention ponds had an outflow.

Chris Stare, 300 interchange Blvd, Ormond Beach on behalf of the applicant stated they did have an outflow in the retention ponds.

Tom Hill Sr., 1061 North Street, is against the project.

Jenny Nazak, 501 Harvey Avenue, is in favor of the project.

Mary Ann Harvey, 1071 Madison Avenue, is against the project.

Josephine Pope, 1080 Margaret Drive, is against the project.

John Nicholson, 413 N. Grandview Avenue, is in favor of the project.

Mr. Merrell stated this development is not rental apartments or affordable housing. These will be individually owned townhomes.

Board Action:

A motion was made by Mr. Barhoo, seconded by Mr. Weatherholtz, to approve Madison Oaks - Planned Development–General (PD-G) Rezoning DEV2024-166. The motion carried (7-0) with the breakdown as follows:

Tony Barhoo	Yes
Josephine Callis	Yes
Michael McLean	Yes
Milverton Robinson	Yes
Tony Servance	Yes
Cathy Washington	Yes
Vernon Weatherholtz	Yes

C. West Speedway Preliminary Plat DEV2024-694 (Quasi-Judicial Hearing)

A request by Daniel La Rosa of Lenar Homes LLC, on behalf of Malcom Jones III of LPGA Venture Holdings, LLC, to approve a preliminary plat for 162 lots for single family homes. This will include all stormwater, road and utility infrastructure. The site is 78.83± acres located north of W International Speedway Blvd and south of Grande Champion Blvd.

Staff Presentation:

Luke Rinkus, Planner, presented the staff report which was included as part of the packet. A request by Daniel La Rosa of Lenar Homes LLC, on behalf of Malcom Jones III of LPGA Venture Holdings, LLC, to approve a preliminary plat for 162 lots for single family homes. This will include all stormwater, road and utility infrastructure. The site is 78.83± acres located north of W International Speedway Blvd and south of Grande Champion Blvd.

Mr. Barhoo asked what the standard lot size was in our Code.

Mr. Mrozek stated 50 foot is a standard lot size. But on this project these lot sizes were approved in the PD Agreement.

Board Action:

A motion was made by Mr. Barhoo, seconded by Ms. Washington to approve West Speedway Preliminary Plat DEV2024-694. The motion carried (7-0) with the breakdown as follows:

Tony Barhoo	Yes
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Josephine Callis	Yes
Michael McLean	Yes
Milverton Robinson	Yes
Tony Servance	Yes
Cathy Washington	Yes
Vernon Weatherholtz	Yes

D. Facilitate Affordable and Inclusive Housing - Land Development Code Text Amendment DEV2025-221 (Legislative Hearing) :

Item continued till next month.

E. Standards for Specific Principal Uses - Land Development Code Text Amendment DEV2025-299 (Legislative Hearing)

A request by the Growth Management and Planning Department, Planning Division, to amend Sections 5.2.B.18 & 5.2.B.24 of the Land Development Code (LDC) to clarify kitchen equipment requirements for establishments serving alcohol and to remove prohibitions for advertising and signage allowances for hotel or motel accessory uses.

Staff Presentation:

Dennis Mrozek, Planning Director, presented the staff report which was included as part of the packet. A request by the Growth Management and Planning Department, Planning Division, to amend Sections 5.2.B.18 & 5.2.B.24 of the Land Development Code (LDC) to clarify kitchen equipment requirements for establishments serving alcohol and to remove prohibitions for advertising and signage allowances for hotel or motel accessory uses

John Nicholson, 413 N. Grandview Avenue, is against this text amendment.

Board Action:

A motion was made by Mr. Barhoo, seconded by Mr. Weatherholtz to approve Standards for Specific Principal Uses - Land Development Code Text Amendment DEV2025-299. The motion carried (7-0) with the breakdown as follows:

Tony Barhoo	Yes
Josephine Callis	Yes
Michael McLean	Yes
Milverton Robinson	Yes
Tony Servance	Yes
Cathy Washington	Yes
Vernon Weatherholtz	Yes

5. Other Business:

- A. Downtown/Ballogh Road Redevelopment Area Board Report
- B. Midtown Redevelopment Area Board Report
- C. Beachside Redevelopment Area Board Report
- D. Affordable Housing Advisory Committee (AHAC) Report
- E. Public Comments

- F. Staff Comments
- G. Board Members Comments

6. Adjournment

There being no further business, the meeting was adjourned. 7:38 p.m.

Michael McLean, Chair

Luci Brito, Secretary

DRAFT

Agenda Item 4A (Quasi-Judicial
Hearing) **Planned Development - General
Rezoning** DEV2024-573
Pearl Beach Club PD

STAFF REPORT

MEETING DATE: June 26, 2025, Planning Board
REPORT DATE: June 13, 2025
SUBJECT: DEV2024-573 Pearl Beach Club PD-G Rezone
APPLICANT: Robert A. Merrell III, Esq., Cobb Cole
OWNER: Daytona Beach 1299, LLC
STAFF: Danalee Petyk, AICP, Senior Planner

SUMMARY OF REQUEST

This request is for a rezone of ± 2.2 acres of land from the Tourist Accommodations (T-1) to Planned Development – General (PD-G) for the development of a hotel.

As part of the PD-G rezoning, the applicant has requested the following waivers and Land Development Code (LDC) modifications:

- Waiver from typical setbacks for a development in the Tourist Accommodation (T-1) zoning district
- Waiver to allow the advertising (signage) of restaurants within hotels

A majority vote by the Planning Board members present and voting is required to forward a recommendation to the City Commission. The item is tentatively scheduled to be heard by the City Commission for 1st reading on August 6, 2025, and for 2nd reading on August 20, 2025.

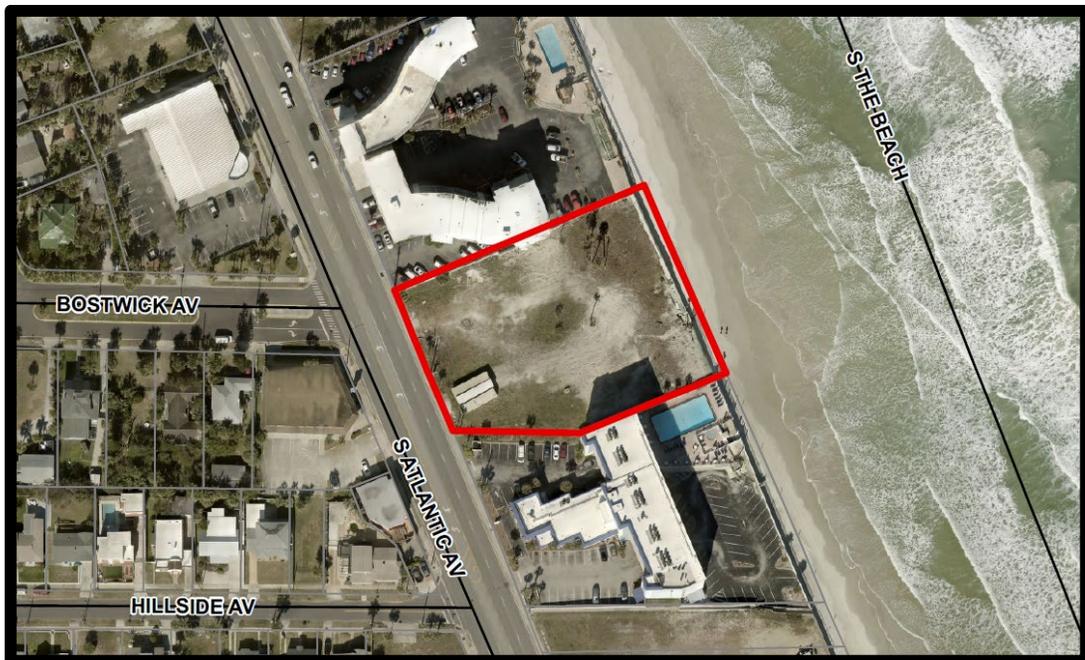
Staff recommendation: Staff finds the requested rezone meets the criteria in Sections 3.4.D.3 and 4.8.B, Land Development Code. Staff recommends the Planning Board forward the rezone of ± 2.2 acres from Tourist Accommodations (T-1) to Planned Development – General (PD-G) to the City Commission with a recommendation of approval.

SITE INFORMATION

Location: 1299 S Atlantic Avenue
Parcel No(s): 5309-38-01-0010
Property Size: ± 2.2 acres
Existing Zoning: Tourist Accommodations (T-1)
Existing Future Land Use: Tourist Accommodations (TA)

Adjacent Land Use and Zoning: *Existing uses listed in the table below are not intended to be an all-inclusive list, but a general summary of types of uses near the subject property.*

	Existing Use(s)	Future Land Use Designation	Existing Zoning Classification
Site	Vacant	TA	T-1
North	Hotel	TA	T-1
South	Hotel	TA	T-1
East	Atlantic Ocean	N/A	N/A
West (across S Atlantic Ave)	Retail	Retail	T-4



Aerial View of the Property

PROJECT DESCRIPTION

The applicant proposes to rezone ± 2.2 acres of vacant property from Tourist Accommodations (T-1) to Planned Development – General (PD-G) to allow for the development of a 24-story hotel. The hotel development will include a parking garage and restaurant located within the building.

The general development plan for the hotel use on the property is shown in *Attachment A*.

PROJECT ANALYSIS – PLANNED DEVELOPMENT REZONING

According to Section 3.4.D.3, *Site-Specific Zoning District Amendment Review Standards*, Land Development Code (LDC), the City shall consider the criteria below when determining whether to adopt or deny a proposed Site-Specific Zoning District Map Amendment. In addition, the City Commission must find applications for a PD zoning district classification in compliance with Section 4.8.B, *General Standards for All Planned Development Districts*, LDC, before approving said PD zoning district classification. The analysis of the proposed Planned Development – General zoning classification is below.

Site-Specific Zoning District Map Amendment Review Standards

Per Section 3.4.D.3, LDC, in determining whether to adopt or deny a proposed Site-Specific Zoning District Map Amendment, the City shall consider the following:

a. Whether the applicant has provided, as part of the record of the public hearing on the application, competent substantial evidence that the proposed amendment:

i. Is consistent with and furthers the goals, objectives, and policies of the Comprehensive Plan and all other applicable City-adopted plans;

The property has a Tourist Accommodations (TA) future land use designation, which is an area composed primarily of accommodations for short-term visitors with a floor area ratio not to exceed 3.0. The proposed hotel will comply with the maximum FAR. The use and intensity proposed are consistent with the Tourist Accommodations future land use designation of the property.

ii. Is not in conflict with any portion of this Code.

The development standards for a PD District must comply with Article 6: Development Standards and Article 7: Subdivision Standards in the LDC; any modifications of those standards must be established in the PD Plan and the PD Agreement. With this amendment to the PD, the applicant has requested two (2) modifications to these standards, as detailed below and in the attached Waiver & Benefits Letter (*Attachment B*).

LDC Modifications & Project Details

- *Lot Development Criteria* – The applicant has requested a waiver from Section 4.5.B, LDC, to revise the side setback dimensional standards for developments in the T-1

zoning designation. The LDC establishes the side setback in the T-1 district as 15 ft plus 6 in. for every foot of height of the building over 35 ft. With the proposed height of the building, this would require a side setback of approximately 87.5 ft. The applicant is requesting the waiver to allow the side setback to range from 25 ft to 60 ft.

Section 4.8, LDC, requires proposed Planned Developments to establish minimum lot standards within the PD Agreement including setbacks.

- o *Signage* – The applicant has requested a waiver from Section 5.2.B.24.b.ii, LDC, which prohibits the outside advertising and signage for accessory uses, including restaurants, located within the hotel. This waiver would allow the development's signage to include advertising of the restaurant use.

A text amendment to the Land Development Code to revise this signage prohibition is under review with City Commission and is scheduled for public hearings in July 2025. If the text amendment is adopted, this waiver will not be necessary and advertising of the restaurant use would be permitted. As such, staff does not object to the waiver request.

iii. Addresses a demonstrated community need;

The applicant has provided a Waiver & Benefits Letter (*Attachment B*) which details the proposed public benefits to the project and addresses the standard for a demonstrated community need. The Waiver & Benefits Letter details the requested modifications to the LDC, as identified above, in exchange for the public benefits enumerated in the letter.

Staff does not object to the applicant's demonstration they meet this criterion.

iv. Is compatible with existing and proposed uses surrounding the subject land, and is the appropriate zoning district for the land;

The proposed hotel use is located in the Tourist Accommodations area along the east side of A1A which has developments of similar scope and character. The development is compatible with the existing and proposed uses in the surrounding area.

The property has an existing T-1 zoning classification which allows the development of a hotel. The proposed PD-G zoning district proposes the same use with the necessary waivers and development standards to accommodate this specific project. As the uses of the PD-G are consistent with the existing zoning, it would be considered appropriate.

Staff finds the proposed amendment is compatible with the existing and proposed uses surrounding the subject land and the requested PD-G zoning district is appropriate. The proposed architectural renderings showing the design of the building are in *Attachment C*.

v. Would result in a logical and orderly development pattern;

The standards proposed in the PD Agreement and the LDC would result in a logical and orderly development pattern for the property and the surrounding area. Staff finds the proposed amendment meets this criterion.

vi. Would not adversely affect the property values in the area;

The proposed amendment does not change the overall intent of the existing zoning for tourist accommodations; therefore, staff does not have any indication there will be an adverse impact on the property values in the area.

vii. Would result in development that is adequately served by public facilities (roads, potable water, wastewater, solid waste, storm water, schools, parks, police, and fire and emergency medical facilities); and

The PD Agreement acknowledges approval of the rezoning does not constitute a Concurrency Certificate as required by the LDC. The applicant will be required to separately obtain a Concurrency Certificate and, where applicable, enter into a proportionate fair share agreement, prior to approval of a site plan for the proposed development.

Staff has reviewed the requested development for impacts to public facilities as part of the rezoning and offers no objection to the proposed use and the development plan.

viii. Would not result in significantly adverse impacts on the natural environment including, but not limited to, water, air, noise, storm water management, wildlife, vegetation, wetlands, and the natural functioning of the environment; and

The development is required to go through the site plan review process and provide environmental assessments and appropriate permitting from environmental agencies. Staff does not find any indication the development would result in significant adverse impacts to the natural environment. The PD rezoning meets this criterion.

b. If the applicant demonstrates that the proposed amendment meets the criteria in subparagraph [a] above, whether the current zoning district designation accomplishes a legitimate public purpose.

The existing zoning on the property is Tourist Accommodations (T-1) which is consistent with the TA future land use designation on the property. The T-1 zoning district is primarily intended for visitor accommodation uses including accessory uses, retail, and restaurants. The applicant proposes to rezone the property to a PD to accommodate a 24-story hotel and incorporate the requested waivers and development standards.

Planned Development Zoning Districts Review Standards

The City Commission must find applications for a Planned Development (PD) zoning district classification in compliance with the standards outlined in Section 4.8.B, *General Standards for*

All Planned Development Districts, LDC, before approving said PD zoning district classification. The analysis of the proposed PD, including the PD Agreement and Plan, is below.

1. PD Plan/Agreement

The PD Plan/Agreement includes an overall development plan for the property, as shown in *Attachment A*. The PD Plan/Agreement complies with the standards of this subsection.

2. Consistency with City Plans

If adopted by the City Commission, the PD zoning district designation and the PD Plan/Agreement will be consistent with the Comprehensive Plan.

3. Compatibility with Surrounding Areas

The proposed development plan is compatible with the surrounding tourist accommodation area. The PD Agreement provides for appropriate buffers and establishes development criteria to provide for transition to the surrounding area based on the primary use proposed.

4. Development Phasing Plan

The development is not proposed to be phased but the PD Agreement does allow for phasing to occur if desired. The construction permits for the development of the property must be submitted within five (5) years of the approval of the PD Agreement, with substantial completion within ten (10) years of approval.

5. Conversion Schedule

The PD proposes only “hotel or motel” uses; therefore, a residential conversion schedule is not necessary.

6. On-Site Public Facilities

The development will provide on-site public facilities as required to accommodate the uses proposed. The facilities will be reviewed at site plan and the applicant will obtain the appropriate City, State, or federal permits as applicable.

7. Uses

The following uses are proposed as permitted uses on the property per the PD Agreement. All uses are subject to compliance with the use-specific standards in Article 5 of the LDC. The uses provided here are a general summary of the proposed uses in the PD Agreement; additional requirements or conditions may be applicable to the uses as stated in the PD Agreement and LDC.

- Hotel or Motel with accessory uses typically associated with hotel developments including restaurants and hotel bars/lounges
- Temporary Factory-Fabricated Transportable Building with a maximum duration of 24 months.

8. Densities/Intensities

The applicant proposes a maximum Floor Area Ratio of 3.0 which is the maximum intensity permitted by the Tourist Accommodations (TA) future land use designation on the property.

9. Dimensional Standards

The following lot development criteria shall apply to the property:

- Maximum building height: 24 stories – 285' provided that six stories shall be dedicated at least 50% to parking or vehicular maneuvering area
- Minimum lot area: 53,000 sq. ft.
- Minimum lot width: 205'
- Minimum lot depth: 265'
- Minimum building setbacks:
 - Front (South Atlantic Ave): 25'
 - Side (North, South): 25' * (*south setback 60' at widest portion)
 - Rear (East): 75'
- Maximum building coverage: 26%
- Minimum open space: 35%
- Maximum floor area ratio: 3.0
- Maximum top elevation for above ground parking garage: 80' above ground level

10. Development Standards

All development in a PD district shall comply with the development standards in Article 6: Development Standards, and Article 7: Subdivision Standards, or any modifications of those standards established in the PD Plan/Agreement as consistent with City plans, the objective of the particular type of development standard, the purpose of the particular PD district, and any additional limitations or requirements set forth in Sections 4.8.C, LDC.

Neighborhood Meeting

The applicant conducted a neighborhood meeting on January 27, 2025, as required by the LDC. A summary of the neighborhood meeting prepared by the applicant is in *Attachment D*.

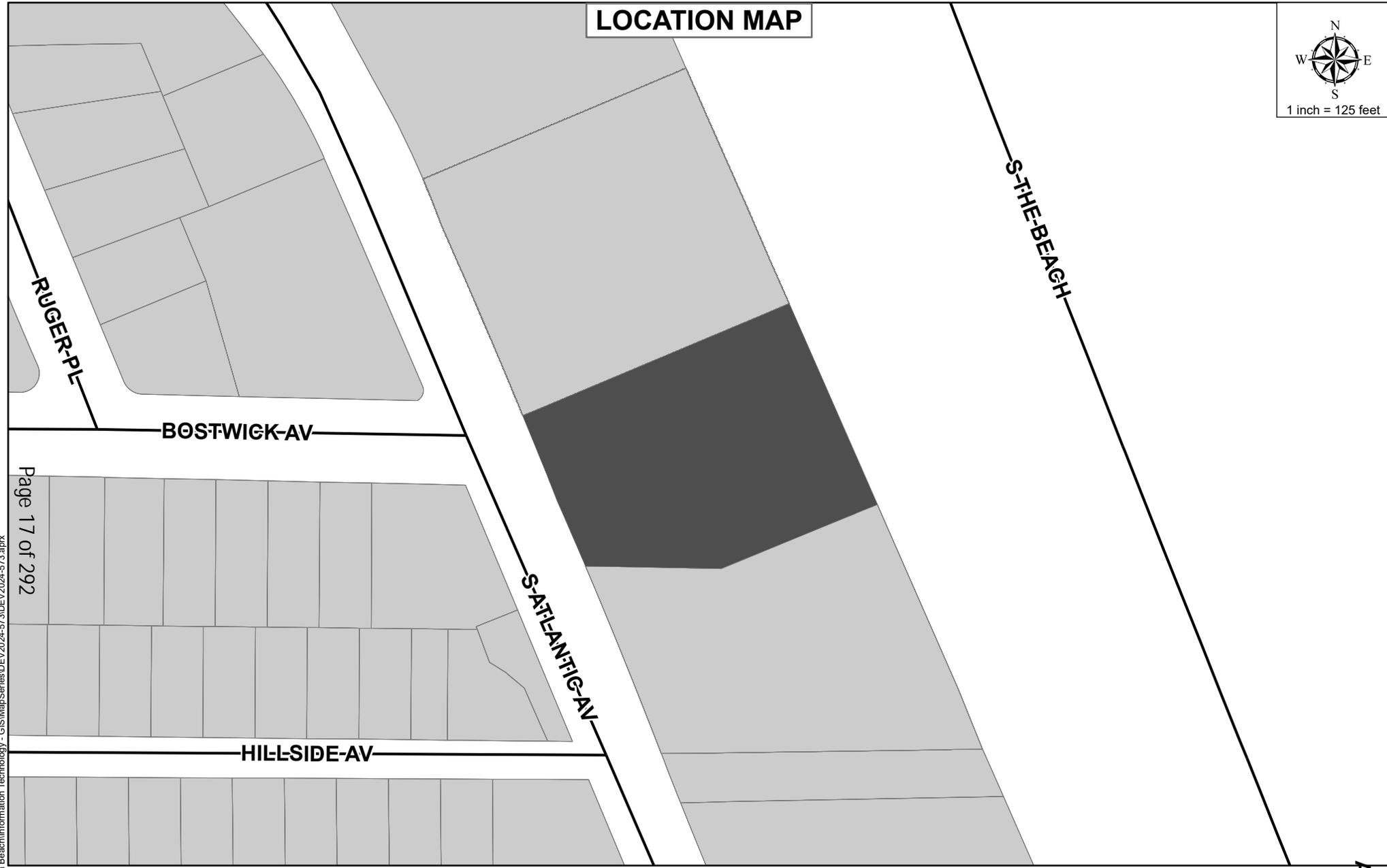
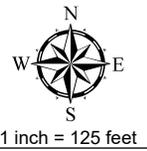
RECOMMENDATION

Staff finds the requested rezone meets the criteria in Sections 3.4.D.3 and 4.8.B, Land Development Code. Staff recommends the Planning Board forward the rezone of ± 2.2 acres from Tourist Accommodations (T-1) to Planned Development-General (PD-G) to the City Commission with a recommendation of approval.

A majority vote by the Planning Board members present and voting is required to forward a recommendation to the City Commission.

The item is tentatively scheduled to be heard by the City Commission for 1st reading on **August 6, 2025**, and for 2nd reading on **August 20, 2025**.

LOCATION MAP



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DEV2024-573 PEARL BEACH CLUB PD-G REZONING LOCATION MAP

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Agenda Item #4.A.

AERIAL



1 inch = 125 feet



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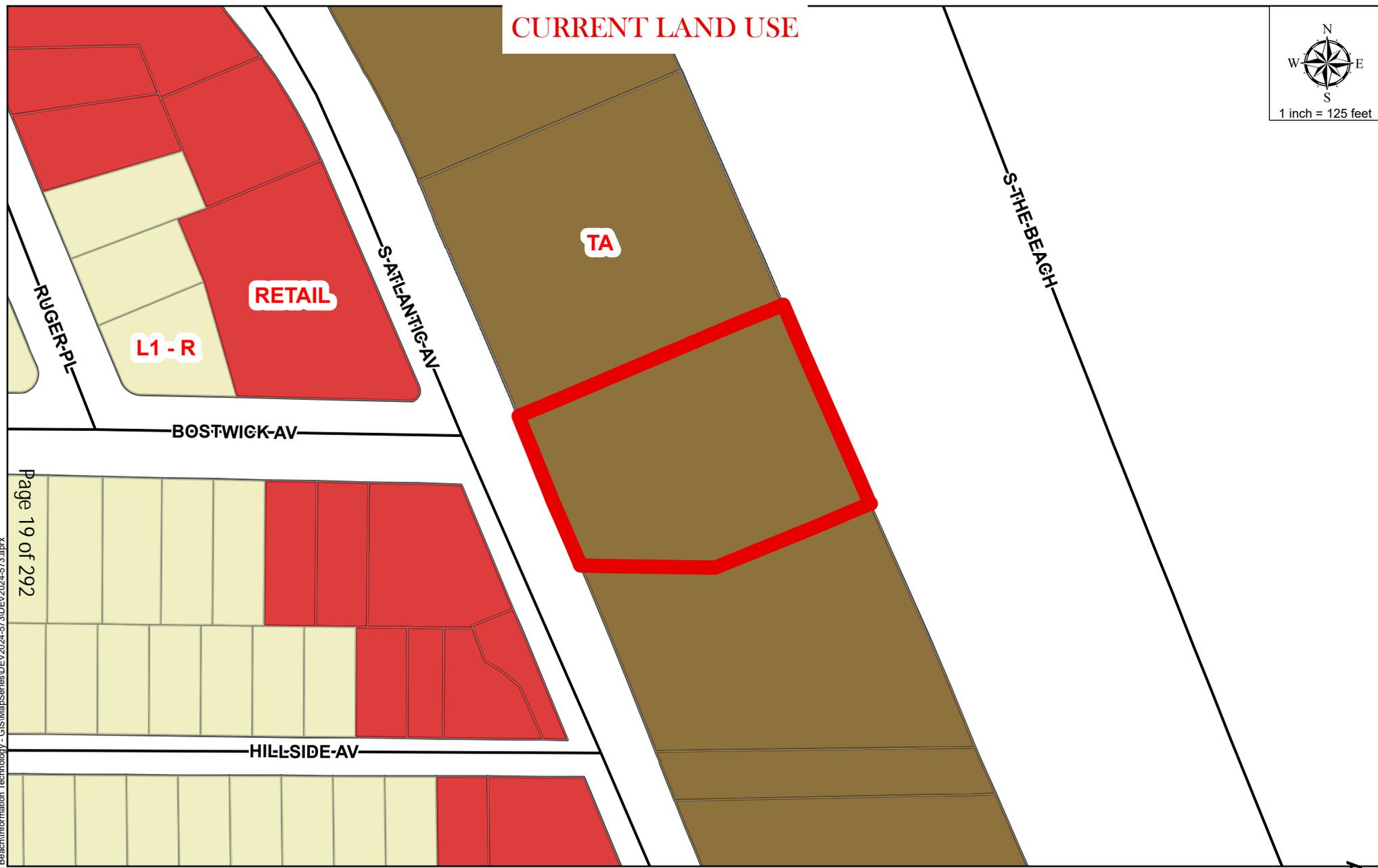


DEV2024-573 PEARL BEACH CLUB PD-G REZONING AERIAL MAP

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Agenda Item #4.A.

CURRENT LAND USE



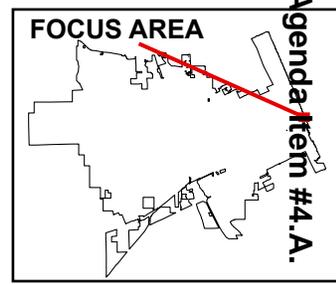
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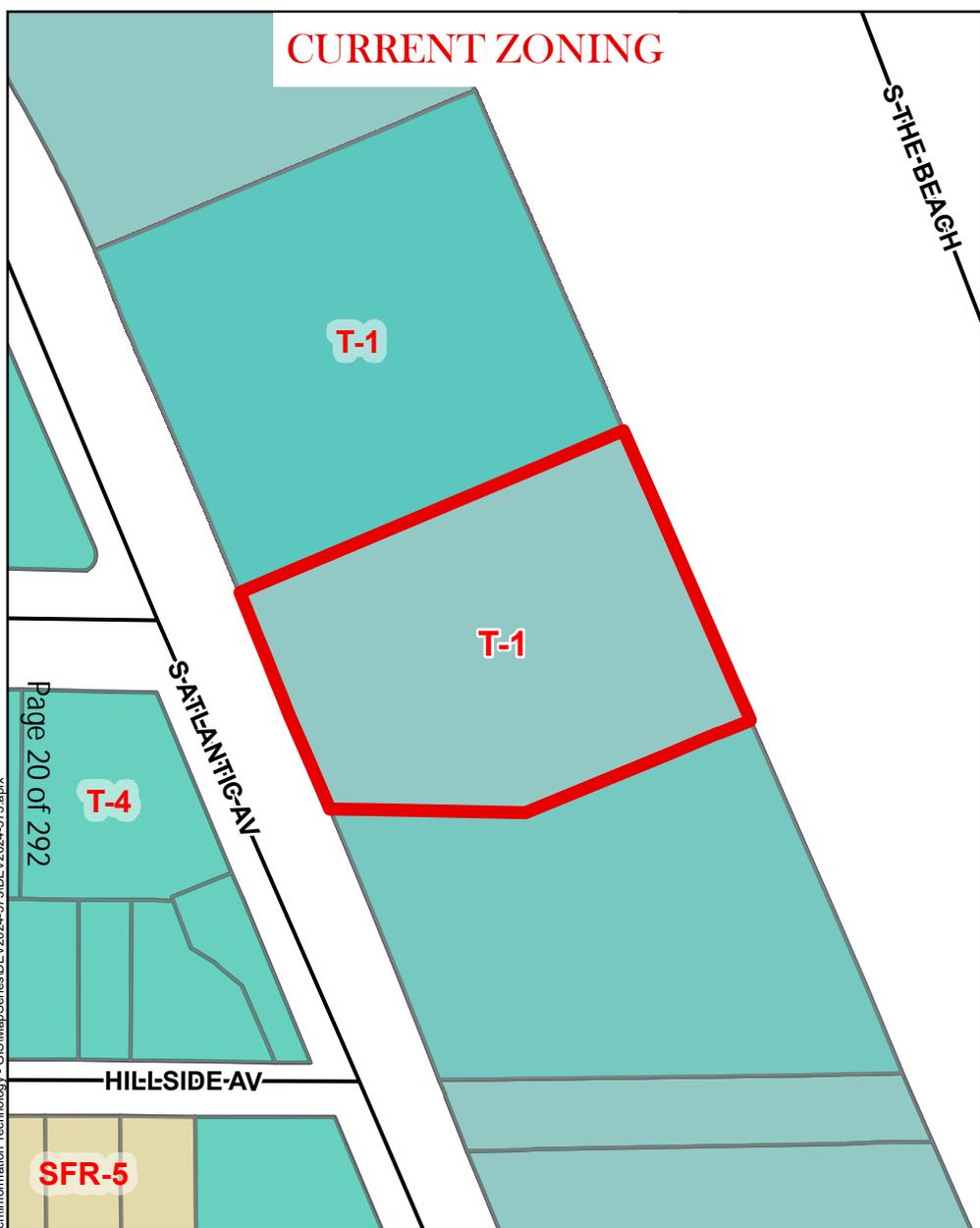
DEV2024-573 PEARL BEACH CLUB PD-G REZONING CURRENT LAND USE MAP

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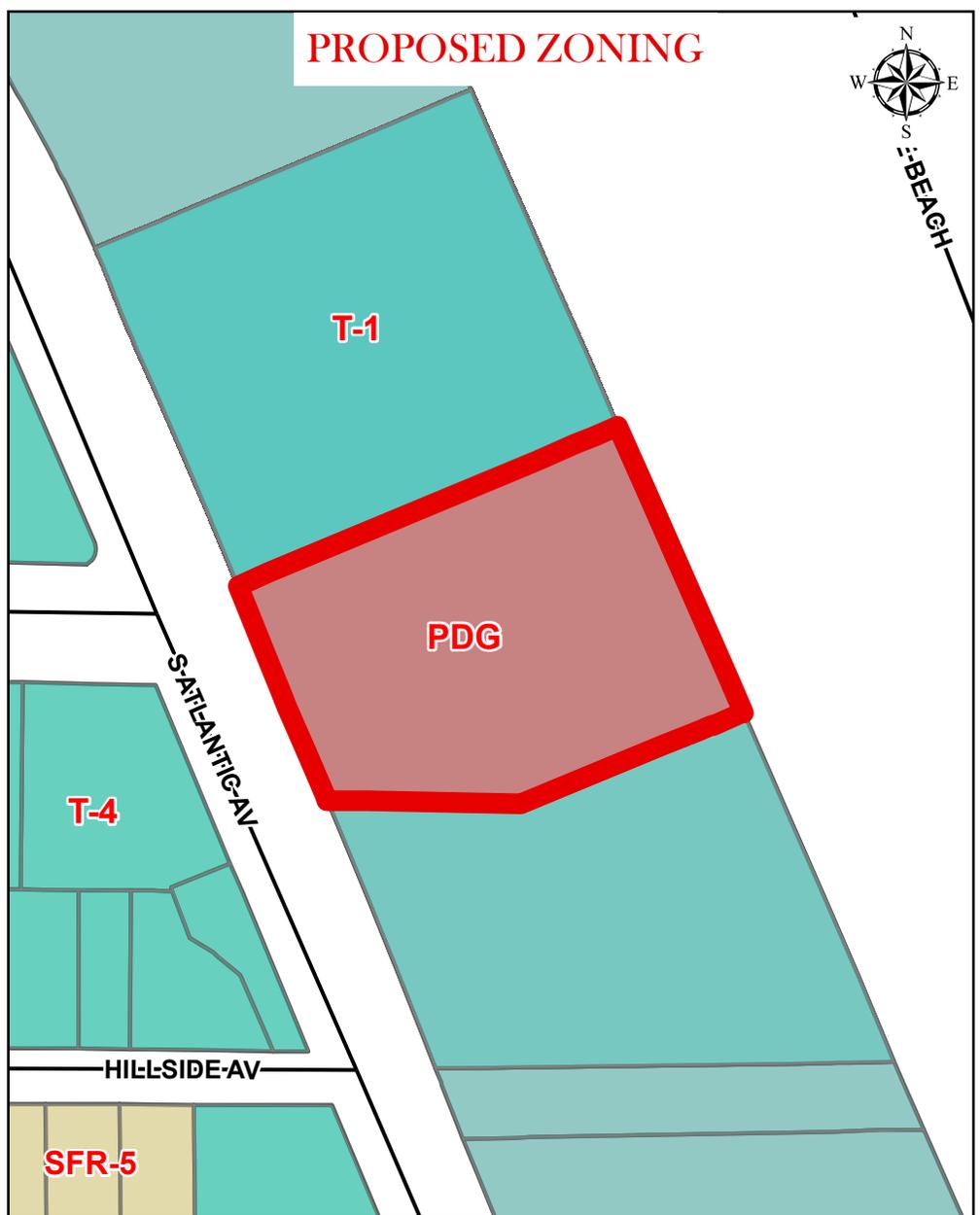
Agenda Item #4.A.

CURRENT ZONING



1 inch = 125 feet

PROPOSED ZONING



1 inch = 125 feet

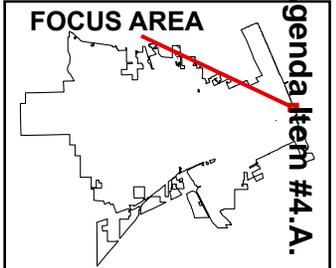
Page 20 of 292

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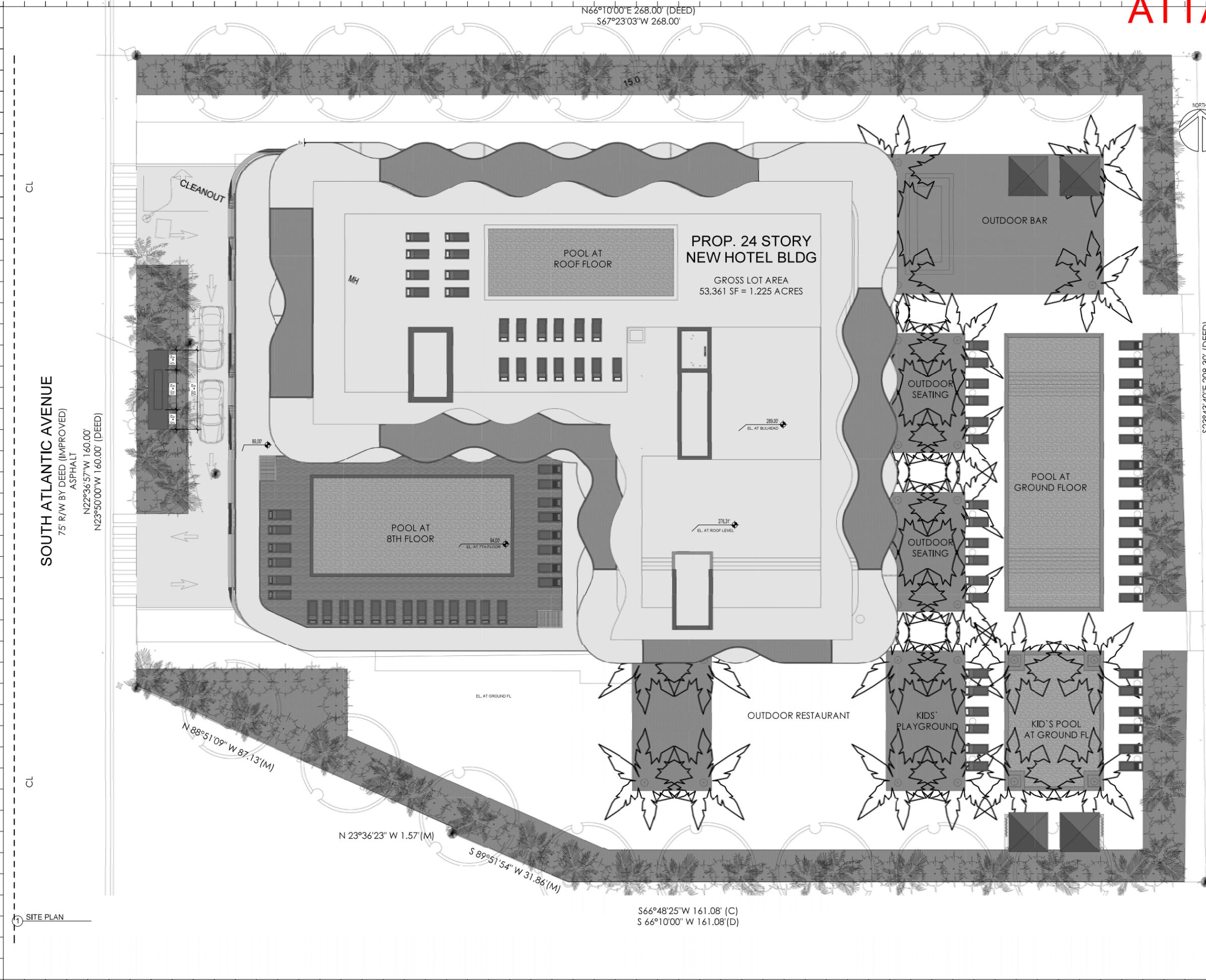


DEV2024-573 PEARL BEACH CLUB PD-G REZONING CURRENT AND PROPOSED ZONING MAP

City of Daytona Beach Map disclaimer:
This map was developed and produced by the City of Daytona Beach GIS. The map is provided for reference only and are not intended to show map scale accuracy or all inclusive map features. As indicated, the accuracy of the map has not been verified and it should be used for informational purposes only. Map discrepancies should be brought to the attention of City Engineering and or Development Services.



Agenda Item #4.A.



Rev.	Date	Rev.	Date

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2169
DAYTONA BEACH CONDO HOTEL
 1299 S ATLANTIC AVE
 DAYTONA BEACH, FL 32118

- Owner**
- Name: Daytona Beach 1299 LLC
 - Address: 8000 NW 7th Street, Suite 204
 - Address: Miami, FL 33126
 - Tel: 305.776.2228
 - Email: daytonabeach1299@gmail.com
- Architect:**
- Name: Kobi Karp
 - Address: 571 NW 28th Street
 - Address: Miami, Florida 33127
 - Tel: 305.573.1818
 - Email: kobikarp@kobikarp.com
- Civil:**
- Name: LAV Engineering, PLLC.
 - Address: 821 N US HWY 1 - Ste A
 - Address: Ormond Beach, FL 32174
 - Tel: 386.310.7829
 - Email: lav@lavengfl.com
- Land Use Attorney**
- Name: Cobb Cole
 - Address: One Daytona Boulevard, Suite 600
 - Address: Daytona Beach, FL 32114
 - Tel: 386/323-9263
 - Email: Randy.Cole@CobbCode.com

SITE PLAN

Date:	04/29/2025	Sheet No.	A200
Scale:	1/8" = 1'-0"	Project:	2169



DAYTONA BEACH HOTEL - BUILDING MATRIX

OVERALL BUILDING AREAS	GROUND FLOOR	LEVEL 2	LEVELS 3-5	LEVEL 6	LEVEL 7	LEVEL 8	LEVELS 09-22	LEVELS 23-24	ROOFTOP	TOTAL
RESTAURANT	1772 SF									1772 SF
HOTEL ROOMS							9598	9598		
AMENITIES	3213 SF			SF	SF	0 SF	SF	0 SF	735 SF	3948 SF
SERVICES	5024 SF	1640 SF	1640 SF	5537 SF	SF	SF	318 SF	318 SF		14477 SF
MEETING ROOMS					SF	3150 SF				3150 SF
BRANDED SPA				SF	5350 SF					5350 SF
BALLROOMS						6687 SF				6687 SF
EXECUTIVE OFFICE				2500 SF	4614 SF					7114 SF
CORES	1269 SF	1086 SF	1086 SF	1086 SF	886 SF	886 SF	886 SF	886 SF	886 SF	8957 SF
CORRIDOR	SF			1099	1534 SF	1661 SF	1582 SF	1582 SF		7458 SF
TOTAL PER FLOOR	11278 SF	2726 SF	2726 SF	10222 SF	12384 SF	12384 SF	12384 SF	12384 SF	1621 SF	
TOTAL ALL FLOOR	11278 SF	2726 SF	8178 SF (3 Level)	10222	12384 SF	12384 SF	173376 SF (14 Level)	24768 SF (2 Level)	1621 SF	256937 SF

*OVERALL BUILDING AREAS EXCLUDES BALCONIES , GROUND FLOOR VEHICULAR DRIVEWAYS, GROUND FLOOR TERRACES, 8TH FLOOR AMENITY TERRACES AND ROOFTOP TERRACE

PARKING DRIVE / AREA	487 SF	17436 SF	69744.08 SF	9959.58 SF						97626.66 SF
-----------------------------	---------------	-----------------	--------------------	-------------------	--	--	--	--	--	--------------------

*PARKING AREA IS NOT COUNTED ON THE FAR



DAYTONA BEACH HOTEL - ZONING DATA SHEET

ITEM #	Project Information				
1	Address:	1299 SOUTH ATLANTIC AVENUE, DAYTONA BEACH FL			
2	Board and file numbers :				
3	Folio number(s):	530938010010			
4	Year constructed:	N/A	Zoning District:		
5	Based Flood Elevation:	N/A	Grade value in NGVD:	N/A	
6	Adjusted grade (Flood+Grade/2):	N/A	Lot Area:	53,361 SF = 1.225 Acres	
6.5			Additional Beach Area:	33,132.77 SF = 07606 Acres Total: 86,493.77 SF = 1.97 Acres	
7	Lot width:	208.3	Lot Depth:		
8	Minimum Unit Size	N/A	Average Unit Size	500 SF	
9	Existing use:	Residential	Proposed use:	Hotel	
Zoning Information / Calculations		Required	Existing	Proposed	Deficiencies
10	Height	N/A	N/A	250'-0"	
11	Number of Stories	N/A	N/A	24 Stories	
12	FAR	257,232 SF	N/A	256,937SF	
13	Square Footage For Offices	N/A	N/A	N/A	
14	Number of Hotel Rooms	N/A	N/A	260 Hotel Units	
15	Lot Coverage	N/A	N/A	21,365 SF (24.9%)	
16	Open Space	N/A	N/A	22,362 SF (26.1%)	
17	Water Portion	N/A	N/A	33,132.77 SF (37.8%)	
18	Total			76,858 SF (88.8%)	
19	Area NOT counted			9,634 SF (11.2%)	
20	Total			85,744 SF (100.0%)	
Setbacks		Required	Existing	Proposed	Deficiencies
21	Front Setback (South Atlantic Ave):	25'-0"	N/A	25'-0"	
22	Secondary Front Setback	N/A	N/A	N/A	
23	Side Setback (North):	15' + (200'-55') / 2 = 87.5'	N/A	25'-0"	
24	Side Setback (South):	15' + (200'-55') / 2 = 87.5'	N/A	60'-0"	
25	Rear Setback (East):	N/A	N/A	76'-10"	
Parking		Required	Existing	Proposed	Deficiencies
31	Total # of parking spaces	304 P.S.	N/A	304 P.S.	0
32	# of parking spaces per use (Provide a separate chart for a breakdown calculation)				
33	Parking Spaces for Hotel Units	1 per Unit = 260 P.S.		260 P.S.	
34	Parking Spaces for Restaurant	1 per 50 SF = 50 P.S.		30 P.S.	
36	Parking Spaces for Hotel Visitors	1 per 15 Units = 14 P.S.		14 P.S.	
37	Parking Space Dimensions	9'-0" x 19'-0"	N/A	9'-0" x 19'-0"	
38	Parking Space configuration (45o, 60o, 90o, Parallel)			90o	
40	Tandem Spaces				
41	Drive aisle width	24'-0"		24'-0"	

Notes:
If not applicable write N/A

Rev.	Date	Rev.	Date

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2169

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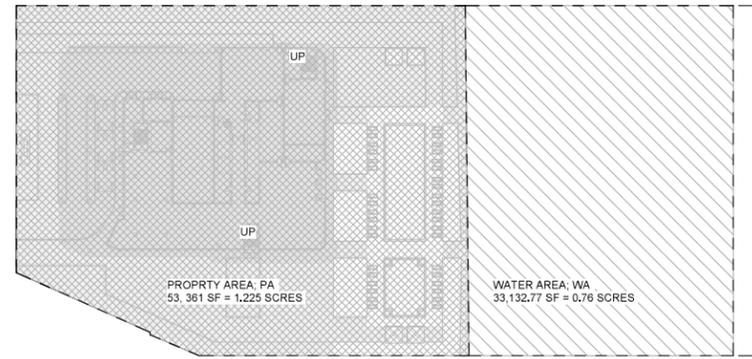


Agenda Item #4.A.

PROJECT DATA

Date:	04/29/2025	Sheet No.	A004
Scale:			
Project:	2169		

FAR - ALL FLOORS		
GF FAR	GROUND FLOOR	11278 SF
FAR	LEVEL 2	2726 SF
FAR	LEVEL 3	2726 SF
FAR	LEVEL 4	2726 SF
FAR	LEVEL 5	2726 SF
BHO	LEVEL 6	10222 SF
AMENITY	LEVEL 7	12384 SF
AMENITY	LEVEL 8	12384 SF
ST RM	LEVEL 9	12384 SF
ST RM	LEVEL 10	12384 SF
ST RM	LEVEL 11	12384 SF
ST RM	LEVEL 12	12384 SF
ST RM	LEVEL 13	12384 SF
ST RM	LEVEL 14	12384 SF
ST RM	LEVEL 15	12384 SF
ST RM	LEVEL 16	12384 SF
ST RM	LEVEL 17	12384 SF
ST RM	LEVEL 18	12384 SF
ST RM	LEVEL 19	12384 SF
ST RM	LEVEL 20	12384 SF
ST RM	LEVEL 21	12384 SF
ST RM	LEVEL 22	12384 SF
ST RM	LEVEL 23	12384 SF
ST RM	LEVEL 24	12384 SF
FAR	ROOF POOL LEVEL	1621 SF
		256937 SF



TOTAL FAR PROVIDED = 256,937 SF
 TOTAL ALLOWED FAR = PA + WA (53,361 + 33,132.77) = 86,493.77 x 3 = 259,481.31 SF
 FAR AVAILABLE = 259,481.31 SF - 256,937 SF = **2,544.31 SF**

⑨ WATER PORTION CALCULATION
1" = 50'-0"

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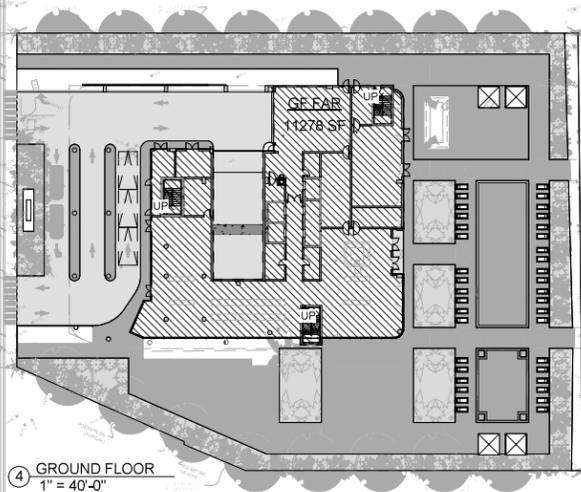
Land Use Attorney
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 Address: Daytona Beach, FL 32114
 Tel.: 386/323-9263
 Email: RICK@COBBANDCOLLELL.COM



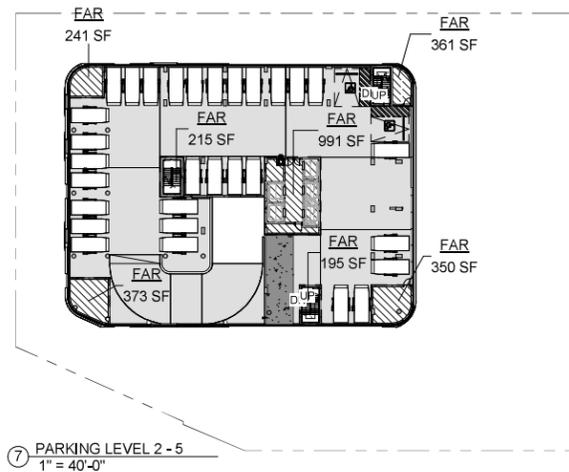
Agenda Item #4.A.

PROJECT DATA

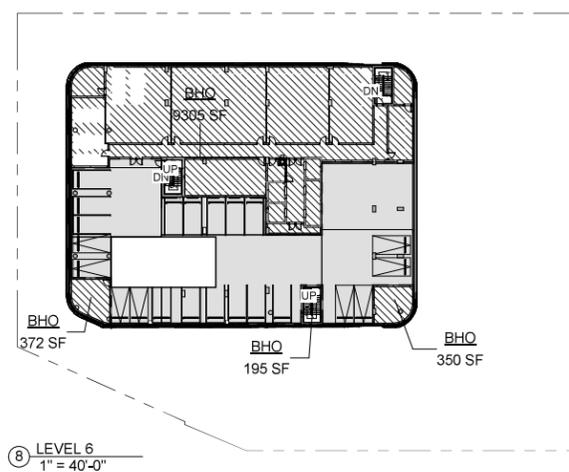
Date:	04/29/2025	Sheet No.	A005
Scale:	As indicated		
Project:	2169		



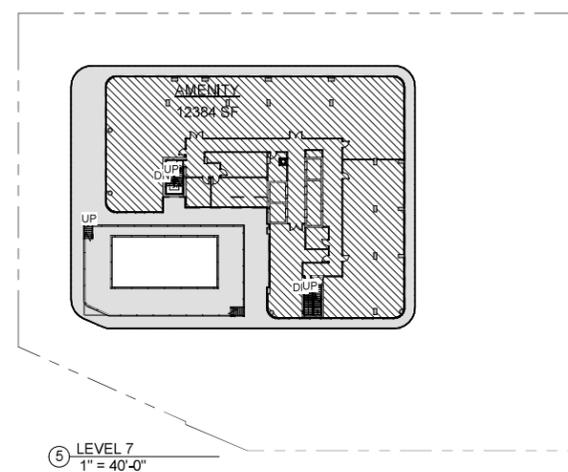
Area Schedule - Ground Floor			
Name	Level	Area	
GF FAR	GROUND FLOOR	11278 SF	
Grand total: 1		11278 SF	



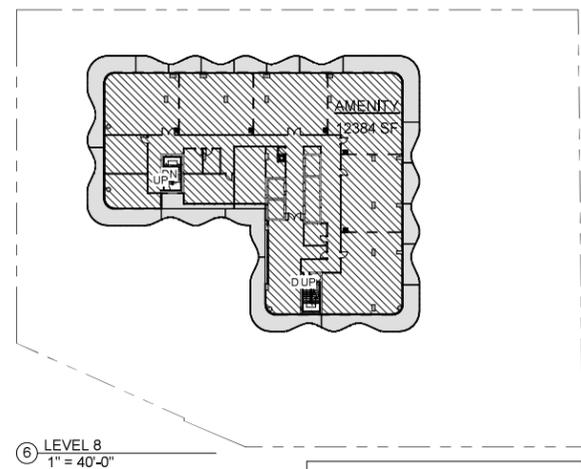
Area Schedule - Second Floor			
Name	Level	Area	
FAR	LEVEL 2	2726 SF	
Grand total: 7		2726 SF	



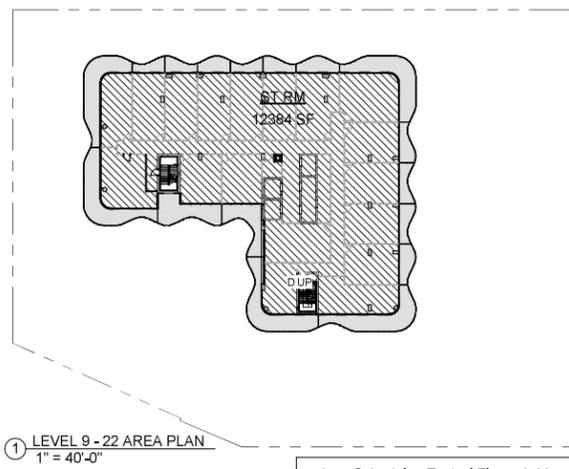
Area Schedule - Parking & BOH			
Name	Level	Area	
BHO	LEVEL 6	10222 SF	
Grand total: 4		10222 SF	



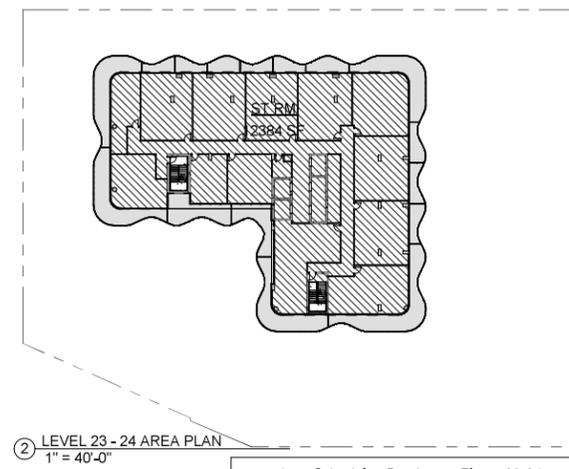
Area Schedule - Amenity Floor 7			
Name	Level	Area	
AMENITY	LEVEL 7	12384 SF	
Grand total: 1		12384 SF	



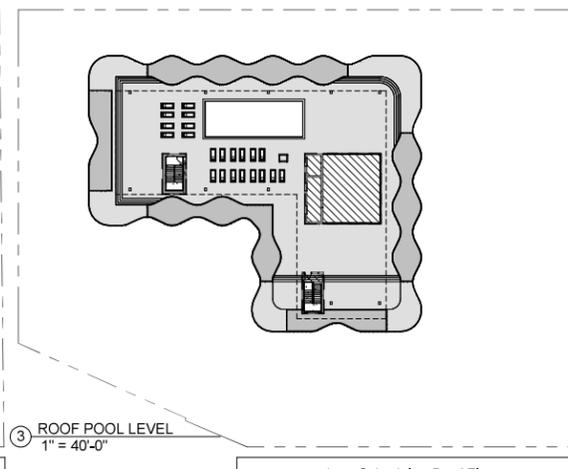
Area Schedule - Amenity Floor 8			
Name	Level	Area	
AMENITY	LEVEL 8	12384 SF	
Grand total: 1		12384 SF	



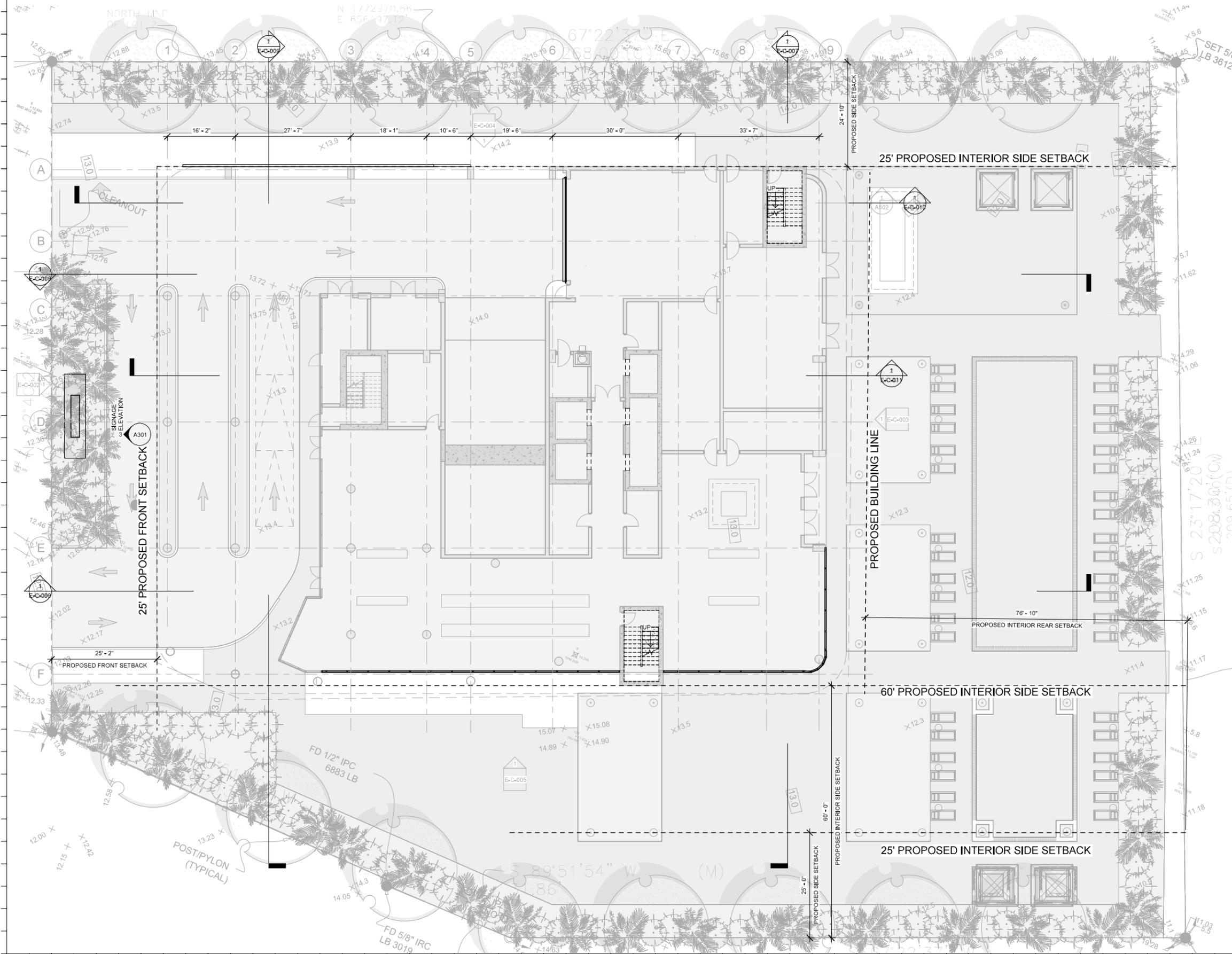
Area Schedule - Typical Floors 9-22			
Name	Level	Area	
ST RM	LEVEL 9	12384 SF	
Grand total: 1		12384 SF	



Area Schedule - Penthouse Floors 23-24			
Name	Level	Area	
ST RM	LEVEL 23	12384 SF	
Grand total: 1		12384 SF	



Area Schedule - Roof Floor			
Name	Level	Area	
FAR	ROOF POOL LEVEL	1621 SF	
Grand total: 3		1621 SF	



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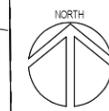
Land Use Attorney
 Name: Cobb Cole
 Address: One Daytona Boulevard, Suite 600
 Daytona Beach, FL 32114
 Tel: 386/323-9263
 Email: CobbCole@CobbCode.com



SETBACKS DIAGRAM

Date:	04/29/2025	Sheet No.	A010
Scale:	3/32" = 1'-0"		
Project:	2169		

SET 5/6
LB 3612



Rev.	Date	Rev.	Date

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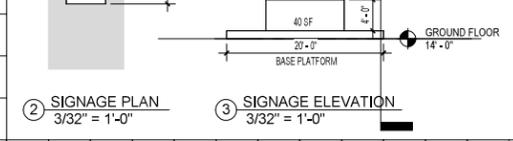
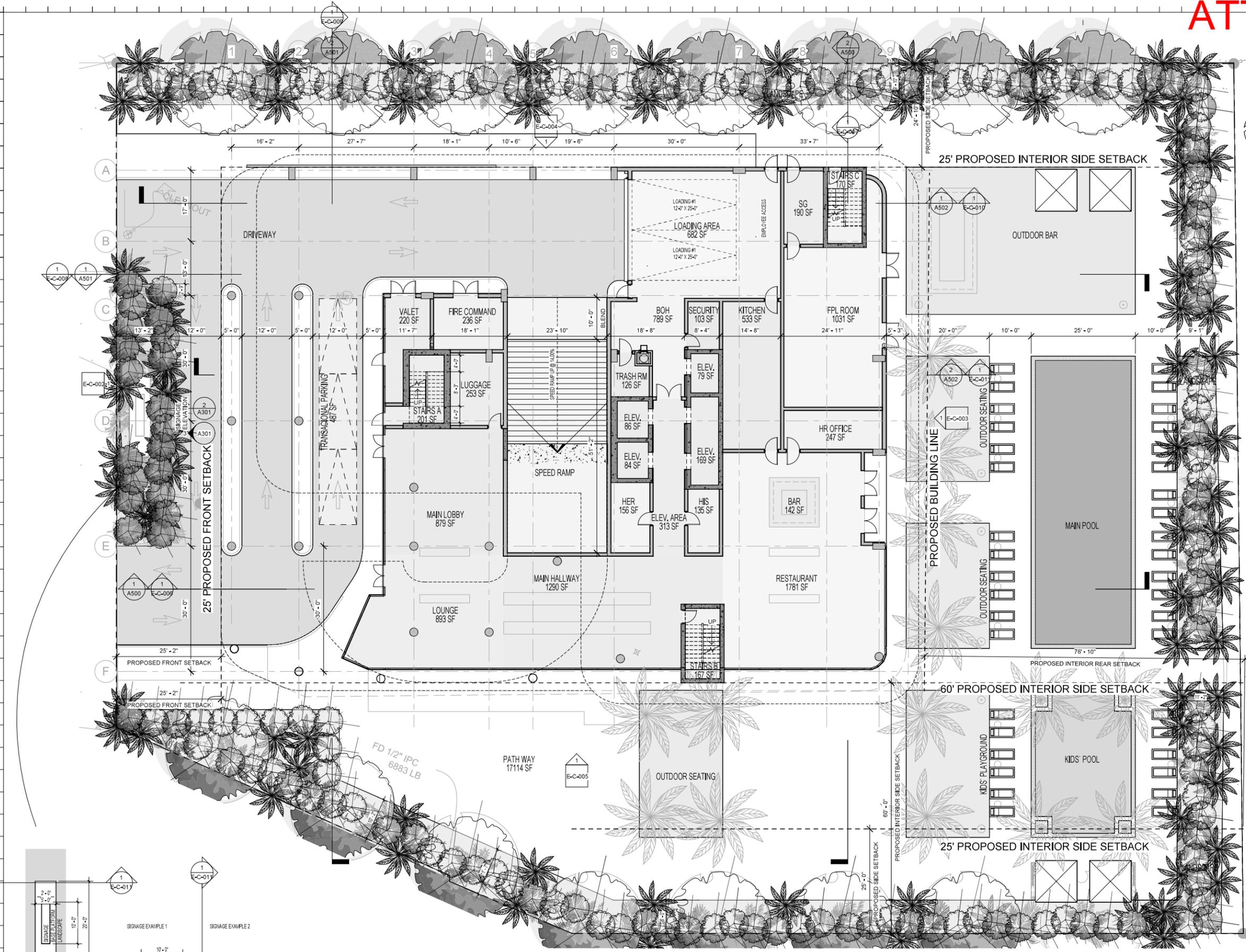


Agenda Item #4.A.

GROUND FLOOR PLAN

Date:	04/29/2025	Sheet No.	A301
Scale:	As indicated		
Project:	2169		

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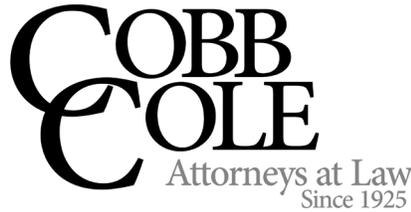


1 GROUND FLOOR
3/32" = 1'-0"

2 SIGNAGE PLAN
3/32" = 1'-0"

3 SIGNAGE ELEVATION
3/32" = 1'-0"

Scott W. Cichon
Robert A. Merrell III
John P. Ferguson
Mark A. Watts
Heather Bond Vargas
Michael J. Woods
Raymond L. Schumann
Kathleen L. Crotty
Michael O. Sznapstajler
Andrew C. Grant
Matthew S. Welch
Edward H. Thompson
Robert E. Doan
William A. Rice
Douglas J. Collins
Sara E. Glover
Holly W. Zitzka



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OF COUNSEL
Larry D. Marsh
Ira Halfond

William M. Cobb (1881-1939)
Thomas T. Cobb (1916-2004)
W. Warren Cole, Jr. (1926-2008)

December 19, 2024

VIA ELECTRONIC DELIVERY

Dennis L. Mrozek
Planning Director
City of Daytona Beach
301 S. Ridgewood Avenue, Room 240
Daytona Beach, FL 32114

Re: Pearl Beach Club – Planned Development Rezoning – DEV2024-573 -
Modifications and Benefits Letter

Dear Dennis:

As you know, it is the Firm’s pleasure to represent Daytona Beach 1299, LLC (the “Applicant”) with respect to the requested Planned Development Rezoning of the property located along Atlantic Avenue in Daytona Beach, Florida which is the subject of DEV2024-573 (the “Property”). The Applicant intends to rezone the property to allow development of a hotel use for the site and supporting retail. The Daytona Beach Land Development Code (LDC) requires Planned Development rezoning applicants to provide a letter detailing any and all code waivers needed to construct their project, as well as the public benefits of the project which are proposed to compensate for the needed waivers.

We recognize the importance of the standards contained in the City's LDC and have made every commercial reasonable effort to bring forward a project consistent with the LDC. However, in this case, the project requires certain minor LDC waivers which are balanced against many significant public benefits.

Public Benefit

The Pearl Beach Club is envisioned as a landmark development that seamlessly integrates luxury, functionality, and sustainability in the heart of Daytona Beach. Set along the oceanfront, this hotel will redefine coastal hospitality, offering a harmonious blend of modern architecture and thoughtful design, catering to a diverse clientele seeking an elevated experience. This narrative reflects the guiding principles behind the design, ensuring the project aligns with the community’s character, environmental considerations, and the needs of future users.

The Pearl Beach Club goes beyond compliance by integrating innovative design features such as vertical green walls, rooftop garden spaces, and extensive use of drought-tolerant native plant species. These enhancements contribute to environmental sustainability, improve the visual appeal of the property, and provide additional green spaces for guests and the community.

Contextual Integration - The Pearl Beach Club is designed to complement and enhance the natural beauty of Daytona Beach. The building's orientation optimizes ocean views for guests while minimizing visual and environmental impact on the surrounding area. Its architectural language draws inspiration from the fluidity of the ocean, with sleek, wave-like contours and a façade of glass, metal, and concrete that reflects the changing hues of the sky and sea. The building's lower levels are thoughtfully scaled to connect with the pedestrian experience. A series of welcoming spaces—restaurants, retail outlets, and a stop-and-go food area—will foster community engagement and create a vibrant streetscape.

Program and Features - The Pearl Beach Club has been designed to meet the needs of today's discerning travelers while accommodating long-term operational efficiency. Guest amenities range from a proposed state of the art spa and wellness center, sun decks, and fine dining opportunities. Ground-floor retail space will offer curated shopping experiences for guests and locals alike.

Sustainability and Resilience - Environmental stewardship is a cornerstone of The Pearl Beach Club's design. Sustainable materials, energy-efficient systems, and advanced construction techniques will ensure the building minimizes its environmental footprint. Key sustainability features include:

- Energy-efficient glazing and insulation to reduce heat gain.
- A water management system to minimize runoff and optimize water use.
- Landscaping with native and adaptive plant species to reduce irrigation needs.

The building's structural design considers coastal conditions, incorporating resilient materials and construction methods to withstand storms and flooding. Elevated entry points and critical infrastructure placement will ensure safety and functionality during adverse weather events.

Community Impact - The Pearl Beach Club is more than just a hotel; it is envisioned as a community asset. By incorporating public amenities such as accessible retail and dining options, the project will create a destination for both visitors and residents. Careful planning of traffic flow, parking solutions, and pedestrian pathways will ensure minimal disruption to the surrounding area, while enhancing accessibility and convenience for guests and locals alike. Additionally, the project will generate significant economic benefits, including job creation and increased tourism revenue for Daytona Beach.

The Pearl Beach Club aspires to set a new standard for oceanfront hospitality in Daytona Beach. Its design is rooted in a deep respect for its environment and community, while offering guests an unparalleled experience of luxury and comfort. This project promises to be a landmark destination that enhances the skyline and contributes to the city's cultural and economic vitality.

Compliance with City Vision - The proposed development is consistent with the following Goals, Objectives, and Policies of the City's Comprehensive Plan:

Policy 1.4.3 Although light industrial development is highest priority, the City shall also assist in the development of high quality family tourist/entertainment complexes; i.e. resort hotels, amusement parks, marinas, performing arts theaters, and other cultural facilities by maintaining appropriate development incentives.

Policy 2.2.1 The City shall maintain a high priority for redevelopment projects on the waterfront to include resort hotels (and related uses) on the ocean and marinas (and related uses) on the river.

Goal 2 TOURISM Increase the number of tourists visiting, staying longer, and spending more dollars in the City through more family friendly activities, quality hotel, convention and meeting spaces, attractions, recreational and competitive sports activities.

Objective 2.1 Increase from the previous year the number of tourists visiting, staying longer and spending more dollars based on data to be provided by the Convention and Visitors Bureau. The number of tourists shall be increased through more family friendly activities, new construction and/or rehabilitation of quality convention and hotel space, parks, entertainment variety, attractions and themed areas, expansion of recreational and competitive sports activities and venues, and by facilitating the effective marketing of area assets and cultural activities.

Policy 2.1.3 The City shall promote new construction and/or rehabilitation of parking areas, quality hotels, attractions, convention facilities and meeting spaces.

Waivers

We have identified the need for waivers from the following LDC requirements:

Article 4 - Setbacks

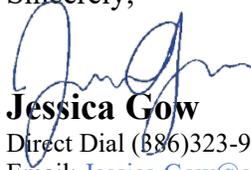
The Applicant has reviewed the request compared to a typical development in the T-1 Tourist Accommodation zoning district. The T-1 zoning district sets forth a side setback that is calculated using an equation (15 ft + 6 in per foot of height >55 ft), which would require a calculated setback of approximately 87.5' (based on current layout) resulting from the proposed height and levels dedicated to parking. The Applicant is requesting a modification from this requirement to allow a setback of 60 feet per building side.

Article 5.2.B.24.b.ii. – Accessory Uses

The LDC notes that restaurants within hotels shall not be advertised on separate signage, and should be intended primarily to serve hotel guests. While the restaurant will be primarily used to serve and entertain guests of the hotel, the Applicant is requesting the ability to provide signage noting the restaurant for use by the public.

Please do not hesitate to contact me if you have any questions. Your consideration in this matter is greatly appreciated.

Sincerely,



Jessica Gow

Direct Dial (886)323-9226

Email: Jessica.Gow@cobbcole.com

Fax (386) 323-9206



1299 South Atlantic Avenue Daytona Beach, FL 32118

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Architect
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 Address Ormond Beach, FL 32174
 Tel 386.310.7829
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Land Use Attorney
 Name Cobb Cole
 Address One Daytona Boulevard, Suite 600
 Address Daytona Beach, FL 32114
 Tel 386/323-9263
 Email Kobi.Karp@CobbCole.com



Agenda Item #4.A.

RENDERINGS

Date: 04/29/2025	Sheet No.
Scale:	A011
Project: 2169	



1299 South Atlantic Avenue Daytona Beach, FL 32118

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2169
DAYTONA BEACH CONDO HOTEL
 1299 S ATLANTIC AVE
 DAYTONA BEACH, FL 32118

Owner
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 Address Miami, FL 33126
 Phone 305/776-2228
 Email daytona1299@gmail.com

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RENDERINGS

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Approver



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RENDERINGS

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 Address: Miami, FL 33126
 Address: Phone: 305/776-2228
 Address: Email: daytonabeach1299@gmail.com

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Date:	04/29/2025	Sheet No.	A016
Scale:			
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Daytona Beach • DeLand

To: Dennis Mrozek

From: Jessica Gow, Esq.

Date: February 3, 2025

Client/Matter #: DEV2024-576 – Pearl Beach Club Planned District

Subject: Neighborhood Meeting Summary – January 27, 2025

A neighborhood meeting was held at the Daytona Grande Oceanfront Hotel located at 422 N. Atlantic Ave., Daytona Beach, FL 32118, on January 27, 2025, at 6:00 p.m.

Robert Merrell and the project team were in attendance to explain the request. A number of interested residents attended the meeting to review the request. See the attached sign-in sheet.

A number of responses were received prior to the meeting and shortly following the meeting, copies of which are included herein.

The development team, led by Robert Merrell, Mathieu Picard, Louis Vigliotti, and Matthew West, provided an overview of the presentation materials and design intent for the site, along with an overview of the Planned Development review process. A copy of the PowerPoint presentation is attached, and included a review of the proposed hotel, restaurant and rooftop activation, spa, and ballroom, conceptual elevations, and shadow study reviews.

Residents asked general questions regarding operations of the hotel use, including the following:

- Potential branding partners: the Property Owner noted that they were in discussion with potential flags for the hotel, which is envisioned as a 5-star brand. Discussions are ongoing with a Wyndham associated brand, Marriot, and Four Seasons.
- Public access: the Development Team noted that they were reviewing the structure for public access to the pool and amenities within the site, which may include a beach club type pass. It was noted that patrons of the restaurant and spa would be welcome to access the hotel amenities.
- Construction timing: The development team noted that construction for the hotel will take approximately 30 months, following an additional estimate of 6-10 month review process for the rezoning and site plan review.
- Loading and unloading location and garbage pickup: Residents were informed that the current design and loading aisles within the site allow garbage trucks to pull directly into the site for loading and perform a 3-point turn to then leave the site, without backup movements onto A1A.

- Confirmation of beachfront setbacks: an adjacent resident noted that he believed the setback to the ocean was closer to the oceanfront than existing buildings. The development team noted that the proposed oceanfront setback was compliant with the LDC, but that they would review this item.
- Construction methods: multiple residents noted a concern over noise and vibration during construction, and their experience with other development projects that impacted their site. The development team noted that they would complete a full study of the composition of the building site and mitigation measures needed during construction, and that auger drilling was contemplated to reduce the impact on adjacent owners that typical pile driving could cause. A resident asked about the depth to pilings – the engineering team noted that would be confirmed during engineering, but their estimate was around 40’.
- Architecture: a resident noted that he worried the glass may be too reflective, and that he’d support a design that included parking that was integrated belowground into a dune system. The development team noted that there were permitting difficulties with that concept, but that the County did typically require dune planting associated with construction along the beach. A resident noted that they believed the height was not to scale with adjacent uses and was too tall for this area, which was repeated by another resident present. A different resident noted that they enjoyed the undulating design pattern of the hotel. It was noted that the shade from the hotel may impact personal gardens and activities for properties surrounding the site and that this should be reviewed.
- Wind modelling: a resident noted concern with wind creation from shearing. The design team noted that during permitting review, they would complete a wind study and run the design through a model with different storm events and wind levels, and the study would produce recommendations for wind mitigation. It was noted that this study could be expanded to include a “comfort study” that pulls in adjacent properties.

Residents asked the project team to confirm the uses within the site that we are requesting, which is the hotel use and associated accessory uses, and a temporary sales trailer during construction. They also asked if there was any intent to remove beach parking from the site – it was noted that there is **not** an intent to remove beach parking in front of the hotel.

Another resident asked what modifications to the LDC were contemplated with the hotel – it was explained that there are two primary modifications, including modifications to the required side yard setback to allow the hotel use and respond to the irregular shape of the lot, and a modification to allow the restaurant to have standalone signage if requested.

An adjacent owner noted that he’d like to see an expanded review of the shadow studies one on one, which the development team agreed to. The same owner noted that he would like the current seawall to be repaired as soon as possible, as he thought it was potentially creating pull on their adjacent wall. The development team noted that the permit for the wall had been issued, and that the timing would be tied into development of the site, but that temporary safety measures could be quickly reviewed and implemented in the event of a storm event.

A resident asked if any public incentive was being currently requested, and another asked if this site would impact the Community Redevelopment Area (“CRA”). It was noted that there is no current incentive request, and that the site is outside of the CRA boundary.

A resident requested that the project team support the potential use of a beachside trolley as an alternative mode of transportation for visitors, which was supported.

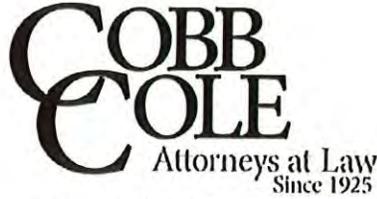
One resident noted that she would not support any resident east of A1A, and that all land in this area should be converted to living shoreline.

We informed residents how to find public records for the project using the project's DEV number and the City's website.

We have included the list of the property owners to whom we sent the Invitation to the Neighborhood Meeting, and a copy of the Invitation.

Thank you.

Scott W. Cichon
Robert A. Merrell III
John P. Ferguson
Mark A. Watts
Heather Bond Vargas
Michael J. Woods
Raymond L. Schumann
Kathleen L. Crotty
Michael O. Sznapstajler
Matthew S. Welch
Edward H. Thompson
Robert E. Doan
William A. Rice
Douglas J. Collins
Sara E. Glover
Holly W. Zizka
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OF COUNSEL
Larry D. Marsh
Ira Halfond

William M. Cobb (1881-1939)
Thomas T. Cobb (1916-2001)
W. Warren Cole, Jr. (1926-2008)

January 16, 2025

INVITATION TO NEIGHBORHOOD MEETING

Dear Neighbor:

The law firm of Cobb Cole has the pleasure of representing Daytona Beach 1299, LLC, (Owner) in connection with their application for their Planned Development- General Rezoning on their property located at 1299 S. Atlantic Avenue in Daytona Beach, FL as shown on the attached map. The owner intends to allow for development of a hotel on the property known as the Pearl Beach Club.

As neighbors to the proposed development, we would like to invite you to discuss the project on **Monday, January 27, 2025, at 6:00 p.m.** at Daytona Grande Oceanfront Hotel, located at 422 North Atlantic Ave., Daytona Beach, FL 32118.

You may provide written comments or questions regarding this request by email to Tequila.nelson@CobbCole.com or by letter to Tequila Nelson, Cobb Cole, One Daytona Boulevard, Suite 600, Daytona Beach, FL 32114. Please include your name, address, and contact information in your correspondence. A copy of any correspondence received prior to the meeting will be included in the summary of the meeting provided to the City of Daytona Beach.

We look forward to seeing you at this meeting if you are interested in discussing this amendment to the existing project.

Sincerely,

Rob Merrell

Direct Dial (386) 323-9226
Email Rob.merrell@CobbCole.com
Fax (386) 323-9207

RAM/tmn

S. Atlantic Ave.



PEARL BEACH CLUB PLANNED DISTRICT AGREEMENT

DEV2024-573

NEIGHBORHOOD MEETING

Daytona Grande Oceanfront Hotel

422 N. Atlantic Ave., Daytona Beach, FL 32118

January 27, 2025

6:00 P.M.

SIGN IN SHEET

<u>NAME</u>	<u>ADDRESS</u>	<u>PHONE OR EMAIL</u>
MATHIEU PICARD	571 NW 28 th St Miami	305.573.1818
* Scott H. McCarthy	114 Ponce de Leon Circle	386-566-4776 <small>Scott H. Peck companies.com</small>
Michael Fletcher	150 S Palmetto ave	386-478-9063
John Zemball	150 S. Palmetto ave	386-366-0164
Kelli Cosentino	3255 Carpentaria Dr.	516-547-5156
Boyan Fretz	411 Mobile Ave	
* Rick Brown	1508 CRESCENT RIDGE DR	(407) 592-8754 *
Rose Rivas	1303 S. Atlantic Ave	(386) 253-6741
Brian Moss	Catalina Beach Club	
* Holly Beckwith	1223 Ryeview Rd	904 788 1136

NAME

ADDRESS

PHONE OR EMAIL

MATTHEW WEST 1450 W. GRANADA BLVD ORMOND BEACH

Cheryl Coxwell O.B. citron95@att.net 386-257-2571

Kay Galloway O.B. Kgalloway@daytonabeach.com

Janet Meredith D.B.

Catherine Panza D/B Protected 386-566-3699

Elizabeth Barnes 1229 Ruger Place lizbarnes@gmail.com

Amees Anselmi rep Barbara Boone ameesells@kw.com

* Edwin Peck JR 2430 S. ATLANTIC AVE Suite F 386-527-9848

Sandy Cook 14 Elizabeth Lane Sandycok@cookgroupdaytona.com

JERRY KIDD 5 SPRINGER COURT. @vmmud 850 212 0942

GUDRUN HEMMINGHAUS 1233 S. ATLANTIC AVE. hemminghaus1@aol.com

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DAYTONA ATLANTIC DEV LLC
1728 CORAL WAY STE 500B
MIAMI, FL 33145

DOXIE KATHERINE
2040 COUNTRY FARMS RD!
PORT ORANGE, FL 32128

SUNOCO RETAIL LLC % KE ANDREWS!
2424 RIDGE RD
ROCKWALL, TX 75087

VAN AERNAM DIXIE
1230 RUGER PL!
DAYTONA BEACH, FL 32114

SHEMOT TEVET LLC
4901 W PARK RD
HOLLYWOOD, FL 33021

1310 ATLANTIC AVE LLC
4100 N 28TH TER!
HOLLYWOOD, FL 33020

BECKWITH HOLLY L
1223 RUGER PL
DAYTONA BEACH, FL 32118

TRAGER WARREN
610 BOSTWICK AVE!
DAYTONA BEACH, FL 32118

TIGYER JAMES M
1000 RIVERSIDE DR
HOLLY HILL, FL 32117

MOJICA RICARDO
17787 STERLING POND LN!
ORLANDO, FL 32820

BARNES MICHAEL C
1229 RUGER PL
DAYTONA BEACH, FL 32118

MALIN STEVEN
330 BOSTWICK AVE!
DAYTONA BEACH, FL 32118

PHANTOM FIREWORKS SHOWROOMS LLC
2445 BELMONT AVE
YOUNGSTOWN, OH 44505

BROWN MICHAEL D
524 BOSTWICK AVE!
DAYTONA BEACH, FL 32118

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FUNICELLO DANIEL M
520 BOSTWICK AVE!
DAYTONA BEACH, FL 32118

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199 BAY ST STE 2900
TORONTO ONT

BULKLEY DONNA
521 HILLSIDE AVE
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DANG NGOC GIAU T
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DAYTONA BEACH, FL 32118

ROONEY DENNIS P
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1701 NORTH 20TH ST D
TAMPA, FL 33605

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HOLLYWOOD, FL 33020

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CESSARIO NICHOLAS P
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6151 DEL MAR DR
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EMRICH CAROL LEE
533 HILLSIDE AVE
DAYTONA BEACH, FL 32118

YRRAL INC
PO BOX 265100
DAYTONA BEACH, FL 32126

JACKSON NATALIE
529 HILLSIDE AVE
DAYTONA BEACH, FL 32118

DENNISON ELIZABETH ANN
2495 N SR 1
FARMLAND, IN 47340

MERSUE INC
2100 COUNTRY CLUB RD
SANFORD, FL 32771

LAUER LAWRENCE R
1221 THOMPSON PL
DAYTONA BEACH, FL 32118

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PEYTON BELLE
242 TARRAGONA WAY
DAYTONA BEACH, FL 32114

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PLUGGE ROBERT H
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BUSSINGER SUSAN B
520 TEMKO TERR
DAYTONA BEACH, FL 32118

PLUS THREE EQUITY LLC
2720 E JACKSON BLVD
ELKHART, IN 46516

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CATALINA BEACH CLUB ASSOC
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SEFFNER, FL 33584

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#212
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CHAMELEON IV TRUST
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MANGO, FL 33550

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OSHKOSH, WI 54904

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ORLANDO, FL 32835

KRUG WILLIAM
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LIBERTY, NY 12754

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GREENBELT, MD 20770

BERRY KIM M
6133 COUNTY RD 4
EDGERTON, OH 43517

HOFFMAN HOLLY
1233 S ATLANTIC AVE UNIT 519
DAYTONA BEACH, FL 32118

KYLE KRISTOPHER T
2722 ST ANTHONY DR
VALRICO, FL 33594

ESCALERA JOSE A
937 MAPLE CREEK DR
ORLANDO, FL 32828

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NINE 23 INVESTMENTS LLC
10562 SAILAWAY LN
ORLANDO, FL 32825

SMOUT JEFFERY
765 CONCESSION 10 WALPOLE
HAGERSVILLE ONTARIO

HANNA US ENTERPRISES LLC
3501 S ATLANTIC AVE #306
DAYTONA BEACH SHORES, FL 32118

ROSE DEBORAH
PO BOX 291187
PORT ORANGE, FL 32129

NOUNA SERVICES LLC
6170 DEL RIO DR
PORT ORANGE, FL 32127

MEHAFFEY TOM J
15101 WILLEMITE ST
RAMSEY , MN 55303

DEBLASIO BRANDY
713 E 114TH AVE
TAMPA, FL 33612

OCEAN JEWELS 359 LLC
935 S ATLANTIC AVE!
DAYTONA BEACH, FL 32118

EK TRUCKING LLC
7833 JOLLIET DR
JACKSONVILLE, FL 32217

LYON JOHN
312 KIRKLAND ST
PALATKA, FL 32177

JRHUJAR RENTALS LLC
6035 PINE ST
SEFFNER, FL 33584

DOZOIS KATHLEEN
PO BOX 92
SAN MATEO, FL 32187

CHILDRESS MARILYN
1233 S ATLANTIC AVE
DAYTONA BEACH, FL 32118

PASCOE CRAIG
17 FULLER RD
HAUERHILL, MA 01832

MZEGHET SHADDY
11325 SW 45TH ST
MIAMI, FL 33165

LUCARELLI ANGELA
740 LARK DR
BAREFOOT BAY, FL 32976

MC70 ENTERPRISES LLC
4031 PALOVERDE DR
KENNESAW, GA 30144

FLORIDA FAST BOATS LLC
226A ST JOE PLZ #159
PALM COAST, FL 32164

SMOUT JEFFERY
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BULLARD CAULEY
410 1 ST S UNIT B
JACKSONVILLE BEACH, FL 32250

PAOLUCCI DONATO A TR
15 MERILINE ST
JOHNSTON, RI 02919

CANDIDO SUZEL
167 WALNUT ST
EAST PROVIDENCE, RI 02914

LOVELY REA PROPERTIES LLC
3227 DEER CHASE RUN!
LONGWOOD, FL 32779

FANDON ENTERPRISES LLC
3501 S ATLANTIC AVE UNIT 306!
DAYTONA BEACH, FL 32118

FORAN RODRICK SCOT
1432 SW TOWLE AVE!
GRESHAM, OR 97080

HALIFAX REALTY INC TR % B VOLKER!
7517 CUTLASS AVE
NORTH BAY VILLAGE, FL 33141

RODZ ASSOC LLC
2007 SUNSET TERRACE DR!
ORLANDO, FL 32825

PORTER ERIC
2230 OAK KNOLL CIR
LA VERNE, CA 91750

MALONE ANTHONY
324 SILVER ST
AGAWAM, MA 01001

FANDON ENTERPRISES LLC
1734 SPOTTSWOODE CT
PORT ORANGE, FL 32128

PADGETT RONNIE F
170 COUGAR RD!
JACKSONVILLE, FL 32220

LEA ROBERT E
1233 S ATLANTIC AVE #101!DAYTONA
BEACH, FL 32118

DOWNING ROBERT
2272 E LAKE DR
CONYERS, GA 30207

PATTERSON DONALD WAYNE JR 1233
S ATLANTIC AVE UNIT 1020!DAYTONA
BEACH, FL 32118

GEORGE HOLDINGS 2 LLC
8524 PECONIC DR
ORLANDO, FL 32835

JRHUJAR RENTALS LLC
6035 PINE ST
SEFFNER, FL 33584

CHRISTOFF KEVIN
2561 E 6500 S
UNITAH, UT 84405

v 8/10 12/18/2024 3:47:32 PM

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SHESHADRI GOKUL
1854 MEADOWBROOK RD
ALTADENA, CA 91001

TAULE JOSE J
9743 CINCINNATI COLUMBUS RD!
WEST CHESTER, OH 45241

GERARDI-SZALA JULIE
21 BEAVER RD
BARRINGTON, RI 02806

EKINS RONALD D & VIRGINIA D TR
124 N NOVA RD UNIT 120!
ORMOND BEACH, FL 32174

PASCOE CRAIG
17 FULLER RD
HAVERHILL, MA 01832

HILTON GORDON L
411 JESSAMINE BLVD
DAYTONA BEACH, FL 32118

MEDIA SOCIAL NETWORK LLC
637 S FAIRFAX AVE #502
LOS ANGELES, CA 90036

CHRISTOFF KEVIN
2561 E 6500 S
UNITAH, UT 84405

FANDON ENTERPRISES LLC
1734 SPOTTSWOODE CT
PORT ORANGE, FL 32128

HROBAK ROBERT F
999 W STORY RD
WINTER GARDEN, FL 34787

FARRELL THOMAS J
1233 S ATLANTIC AVE #223
DAYTONA BEACH, FL 32118

ATG WEST LLC
3150 BALMORAL CT
OVIEDO, FL 32765

GAMEN CRAIG C
PO BOX 447
HARTLAND, MI 48353

MICKEVICIUS LUDWIK H
155 E 4TH ST APT 2H
NEW YORK, NY 10009

CHRISTOFF KEVIN
2561 E 6500 S
UNITAH, UT 84405

BRENNAN DAVID D
405 ANNABESSACOOK RD!
WINTHROP, ME 04364

CHUJAR PROPERTIES LLC
1009 MELROSE ST APT B
SEFFNER, FL 33584

EKINS RONALD DAVID & VIRGINIA D
124 N NOVA RD UNIT 120!
ORMOND BEACH, FL 32174

HOLSOMBACK STEPHEN
4798 S FLORIDA AVE # 326
LAKELAND, FL 33813

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POORBAUGH DAVID
2015 COTTAGE GLEN RD SE!
CEDAR RAPIDS, IA 52403

PLEVELL JOHN P
8706 N FARRAGUT WAY
CITRUS SPRINGS, FL 34434

SZALA TIM
21 BEAVER RD
BARRINGTON, RI 02806

READVENTURES LLC
3319 CORRINE DR
ORLANDO, FL 32803

DUMAS JERE
790 W MINNESOTA AVE!
ORANGE CITY, FL 32763

DULANEY THERESA
PO BOX 290823
PORT ORANGE, FL 32129

BOONE BARBARA LUCILLE
13067 COUNTRY RD 755!
WEBSTER, FL 33597

JATIVA ALFREDO
2021 DELANEY AVE
ORLANDO, FL 32806

FLORES JUAN
3956 TOWN CENTER BLVD #522!
ORLANDO, FL 32837

MEZZAPELLE STEPHEN ANTHONY
1329 EDGEWATER RD
DAYTONA BEACH, FL 32114

ROMANO DONALD
222 GERMANIA AVEE!
SYRACUSE, NY 13219

CHRISTOFF KEVIN
2561 E 6500 S
UNITAH, UT 84405

NGUYEN NGUYEN C
1734 PALMERSTON CIR!OCOE,
FL 34761

RIANO JORGE A
32 WHITTINGHAM LN
PALM COAST, FL 32164

v 10/10 12/18/2024 3:47:32 PM

The Dutch Solution as Gathered by Rick Brown

Page 1 of 1

A Parking Garage in an Artificial Dune at Katwijk

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Construction overview:

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Architect:

<https://www.zja.nl/en/KustwerkKatwijk>

Landscape architects:

<https://www.okra.nl/project/katwijk-coastal-defence/>

<https://www.hnsland.nl/en/projects/strategic-agenda-coastal-area-katwijk/>

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4.	https://youtu.be/oMoJx7CUc7w	13:36	
5.	https://youtu.be/fwTxepG2TyA	3:43	
6.	https://youtu.be/XZStEZpiB-g	3:51	
7.	https://youtu.be/snPkUePo7A4	2:49	
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6.	https://youtu.be/QPq-UcameBs	3:19	Henk Ovink - Voices for Water

Debi LaCroix

From: Tequila Nelson
Sent: Monday, January 27, 2025 9:57 AM
To: Daytonabeach1299
Subject: FW: meeting today 1/27/2024 @ 6PM re:development at 1299 S. Atlantic Ave. Daytona Beach

Team,

Rob and I received another email from a concerned resident.

Thanks,



TEQUILA NELSON
LEGAL ASSISTANT & PARALEGAL

Tequila.Nelson@CobbCole.com

One Daytona Boulevard, Suite 600
Daytona Beach, FL 32114

Office: 386-323-9264
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From: Steven Hemminghaus <hemminghaus1@aol.com>
Sent: Monday, January 27, 2025 9:55 AM
To: Tequila Nelson <tequila.nelson@cobbcole.com>; Rob Merrell <rob.merrell@cobbcole.com>
Cc: customerservice@genuinemgt.com; President@seadipcondo.com; Secretary@seadipcondo.com; VP@seadipcondo.com
Subject: meeting today 1/27/2024 @ 6PM re:development at 1299 S. Atlantic Ave. Daytona Beach

rTo: Tequila Nelson, Cobb Cole,

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time a structural engineer had to be called in to make repairs. The financial burden impacted all Sea Dip owners & our property values.

The enclosed diagram does not make any reference to the size of a parking ramp that will be required to support a 24 story building. In my opinion a smaller development should be considered. If this project were to continue as planned each Sea Dip owner should be entitled to a \$500,000 cash bond to be held in trust to protect their investment. This bond will insure the owner in the event that any damage incurred during construction that affects the Sea Dip at large will provide for repair or replacement of the Sea Dip Resort. Repairs could include but are not limited to both utilities and structure.

Respectfully submitted,

Gudrun Hemminghaus
1810 Crestview Dr.
Oshkosh, WI 54904

owner SeaDip 534 & 535
1233 S. Atlantic Ave.
hemminghaus1@aol.com
920-252-1986

Debi LaCroix

From: Jessica Gow
Sent: Monday, February 3, 2025 1:32 PM
To: Rob Merrell; Debi LaCroix
Cc: Tequila Nelson
Subject: RE: Daytona Beach 1299 - Summary

No, it was the adjacent owner. Brian at 1303 S. Atlantic.



JESSICA GOW

BOARD CERTIFIED CITY, COUNTY, AND
LOCAL GOVERNMENT ATTORNEY

Jessica.Gow@CobbCole.com

One Daytona Boulevard, Suite 600
Daytona Beach, FL 32114

Office: 386-323-9226
CobbCole.com



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From: Rob Merrell <rob.merrell@cobbcole.com>
Sent: Monday, February 3, 2025 1:31 PM
To: Jessica Gow <jessica.gow@cobbcole.com>; Debi LaCroix <Debi.Lacroix@cobbcole.com>
Cc: Tequila Nelson <tequila.nelson@cobbcole.com>
Subject: Re: Daytona Beach 1299 - Summary

I do think we need to do some kind of wind study since I know that's going to come up. Also, do we have the guy's name who wanted the still shots of the shadow study? Was it John Nicholson?

Thanks, Rob



ROB MERRELL III
ATTORNEY

Rob.Merrell@CobbCole.com

One Daytona Boulevard, Suite 600
Daytona Beach, FL 32114

Office: 386-323-9263
CobbCole.com



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From: Jessica Gow <jessica.gow@cobbcole.com>
Sent: Monday, February 3, 2025 10:51:40 AM
To: Rob Merrell <rob.merrell@cobbcole.com>; Debi LaCroix <Debi.Lacroix@cobbcole.com>
Cc: Tequila Nelson <tequila.nelson@cobbcole.com>
Subject: Daytona Beach 1299 - Summary

For internal review and comment before I send to team.

@Debi LaCroix – please confirm you have added John Nicholson to the mailing list for the hearings, along with any others who put an asterisk on the sign in sheet.

Please also confirm you have all copies of the emails received on the topic to include.



JESSICA GOW

BOARD CERTIFIED CITY, COUNTY, AND
LOCAL GOVERNMENT ATTORNEY

Jessica.Gow@CobbCole.com

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Daytona Beach, FL 32114

Office: 386-323-9226
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Debi LaCroix

From: Holly Be <beckwith.holly@gmail.com>
Sent: Tuesday, January 28, 2025 2:42 PM
To: Tequila Nelson; Debi LaCroix
Subject: File appears partial

In checking the sent mail, it appears to be two paragraphs; the document is 2 pages.

>>>

To whom it may concern, from an affected homeowner (potentially).

Re: zone change request for 1299 S. Atlantic Avenue, Daytona Beach.

My understanding is that this project is planned to be a hotel; a zone change is unnecessary it seems at the (first) neighborhood meeting considering the scope of the project unless it is due to it's size. Considering continued coastal concerns; any 'planned unit development(s)' on the control/coastline properties are a questionable venture.

The height is unfathomable for this particular location unfortunately; this process seems completely backwards. They do not seem prepared or interested in compliance with our City's Land Development Code, Section 6.11: Neighborhood Compatibility Standards: Purpose and Intent are "protection standards is to provide a proper transition and ensure compatibility between single-family ...and more intense development...(to) Protect the character of existing neighborhoods" (January 10, 2025). And, as it is written, new developments should not affect the single family neighborhood much if at all considering not having any sort of buffer zone or structures otherwise.

Our coastline is fairly volatile, the largest tides do allow the waves to crash well into another neighboring property easily thirty feet inside their 'property line' (with no seawall to hide the fact). Certainly, the control line is not going to move Eastward anytime soon.

I have a list (now) of personal concerns, they are:

*Water Retention for the structure and it's impact on the lowest lying areas nearest to it and/or how it is assuredly maintained to not affect lower areas near the property. Lateral soil pressure (new-phrase) and affects to the lower points closest to this/these two projects; this affects the foundations of neighboring properties/developments. Learning that both proposals qualify for an emergency permit to repair/rebuild the sea walls affecting other properties, yet will not apply or start work until they can build their project. Accepting liability was discussed at the meeting.

*Not having any FORMABLE BUFFER ZONE to protect our normally quiet neighborhood from an onslaught of issues that include light intrusion in our homes, nuisance noises plus reverberations and an increase in traffic (two fold) of over 600 cars a day (considering the dual proposed developments) that objectively may not pass any traffic assessment one would think would be a needed piece of the puzzle to agree to move forward with any or all approvals.

*To mention, increased traffic on the side streets; with no solution in sight. This neighborhood is a level one (1) single family neighborhood. The impact and decimation of our quality of life is insulting. This process of disrespecting permanent tax paying RESIDENTS is disheartening.

*Damaging wind affects due to any structure much taller than the three (3) adjacent to the proposal(s) South of Silver Beach, which are five (5) stories. A wind study and model is to be created and completed at some point apparently. One would think that would be a first task to prove compliance and minimal affect to surrounding homes.

*The GLARE from the excessively shiny building is sure to blind someone coming over the bridge to go home in the afternoon and potentially pilots trying to land aircraft in the mornings.

*It is in THE FLIGHT PATH of our INTERNATIONAL AIRPORT with MILITARY AIRCRAFT frequent enough to realize the FAA's suggestions worth noting; which is why we have a Comprehensive Plan. Again, lovely building, wrong part of town.

*THE FACT that the reverberations of noise, albeit airplanes, fireworks, sirens, bass music, engines roaring, wheels squealing, people yelling, or even just talking loudly from their balconies...will INCREASE the IMPACT the neighborhood adjacent to this project.

*Also about 'crime-mapping' (issues) being far less than points North of International Speedway; because we are largely all homeowners and very few, if any, rentals. We are forbidden to have Airbnb here as well. With zero buffer zone it will be impossible to not have a huge intrusion and impact on the level 1 single family neighborhood of historic homes.

*Home values being reduced in the neighborhood, as we do enjoy the complement as an exceptional neighborhood with a quality of life to speak of. More-so than the core area nearer the pier and party district. Numerous properties in that area cannot even be auctioned off as that is one of the least desirable areas for single families due to the excessive development.

Mentioning, in a redevelopment area there are guidelines to how tall a structure can be when adjacent to single-family homes; yet, not in the oldest of the neighborhoods on the peninsula? To continue; those guidelines go to 5 stories within 175ft; explain 24 stories at 200ft.

Realistically, common sense revisions to the City's guiding documents can and need to be made. I am not taking my stance without having read the Code, Vision Plan and everything I could find due to the former proposal at Silver Beach; the one without a sea wall.

Our homes are older than most of the dilapidated hotels and motels of the bygone era; we still stand strong and classy. This particular proposal is sandwiched between two classic buildings; both are either remodeled within 20 years or under remodeling presently. both will be affected by the increased pressure and increased winds.

I'd like it very much if the city's staff, commission, Mayor and City Manager, heck, even the attorney and entirety of the planning office, all please sit back and look at the bigger picture. Our city's forefathers and ladies knew a thing or two and had designated the coastline as Tourist Accommodation for reasons that include not being the best place to live permanently, it is not a well suited area for any (further) planned unit developments. I'd prefer you consider our collective reputation and not make a hasty decision (again) without considering very valid concerns that have everything to do with safety and showing the common consideration to, not only, listen to but to heed the concerns of your permanent residents when our quality of life is to be greatly affected; when our City's guiding documents do say these new developments have as little impact as possible.

Our guests, who I see and work with daily have asked that if they could tell the city something; it is to keep it simple. "We come here (South of Silver Beach) because it is uncluttered with tall buildings and a long sunny afternoon to enjoy on the beach, which is a big part of why we come here."

Again. Thank you for your time and consideration moving forward.

Sincerely AF.

H. Beckwith
Ruger Place
<<< END

The Dutch Solution as Gathered by Rick Brown

Page 1 of 1

A Parking Garage in an Artificial Dune at Katwijk

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Debi LaCroix

From: Tequila Nelson
Sent: Monday, January 27, 2025 9:57 AM
To: Daytonabeach1299
Subject: FW: meeting today 1/27/2024 @ 6PM re:development at 1299 S. Atlantic Ave. Daytona Beach

Team,

Rob and I received another email from a concerned resident.

Thanks,



TEQUILA NELSON
LEGAL ASSISTANT & PARALEGAL

Tequila.Nelson@CobbCole.com

One Daytona Boulevard, Suite 600
Daytona Beach, FL 32114

Office: 386-323-9264
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Sent: Monday, January 27, 2025 9:55 AM
To: Tequila Nelson <tequila.nelson@cobbcole.com>; Rob Merrell <rob.merrell@cobbcole.com>
Cc: customerservice@genuinemgt.com; President@seadipcondo.com; Secretary@seadipcondo.com; VP@seadipcondo.com
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Respectfully submitted,

Gudrun Hemminghaus
1810 Crestview Dr.
Oshkosh, WI 54904

owner SeaDip 534 & 535
1233 S. Atlantic Ave.
hemminghaus1@aol.com
920-252-1986

Debi LaCroix

From: Tequila Nelson
Sent: Monday, January 27, 2025 7:23 AM
To: Daytonabeach1299
Subject: Fw: hotel@1299 s atlantic

Team,

Please see the email I received from a concerned resident.

Thanks,



TEQUILA NELSON
LEGAL ASSISTANT & PARALEGAL

Tequila.Nelson@CobbCole.com

One Daytona Boulevard, Suite 600
Daytona Beach, FL 32114

Office: 386-323-9264
CobbCole.com



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From: Glenn Doty <gpd12543@gmail.com>
Sent: Sunday, January 26, 2025 9:44 PM
To: Tequila Nelson <tequila.nelson@cobbcole.com>
Subject: Fwd: hotel@1299 s atlantic

----- Forwarded message -----

From: Glenn Doty <gpd12543@gmail.com>
Date: Sun, Jan 26, 2025, 7:33 PM
Subject: hotel@1299 s atlantic
To: <Tequila.nelson@cobbcol.com>

hi group; concerns.

- 1) will you have insurance for sea dip incase of accidents?
- 2) we need to be well informed on a continuing basis of activities.
- 3) will you be doing a survey of sea dip prior to construction for the purpose of of current condition vs. after construction make sure the integrity of our building is intact ?
- 4)

PEARL BEACH CLUB

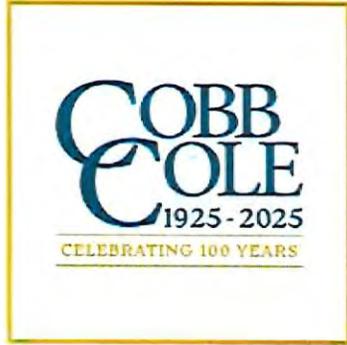
DAYTONA BEACH

NEIGHBORHOOD MEETING

JANUARY 27, 2025



PROJECT TEAM



SENTAI CAPITAL

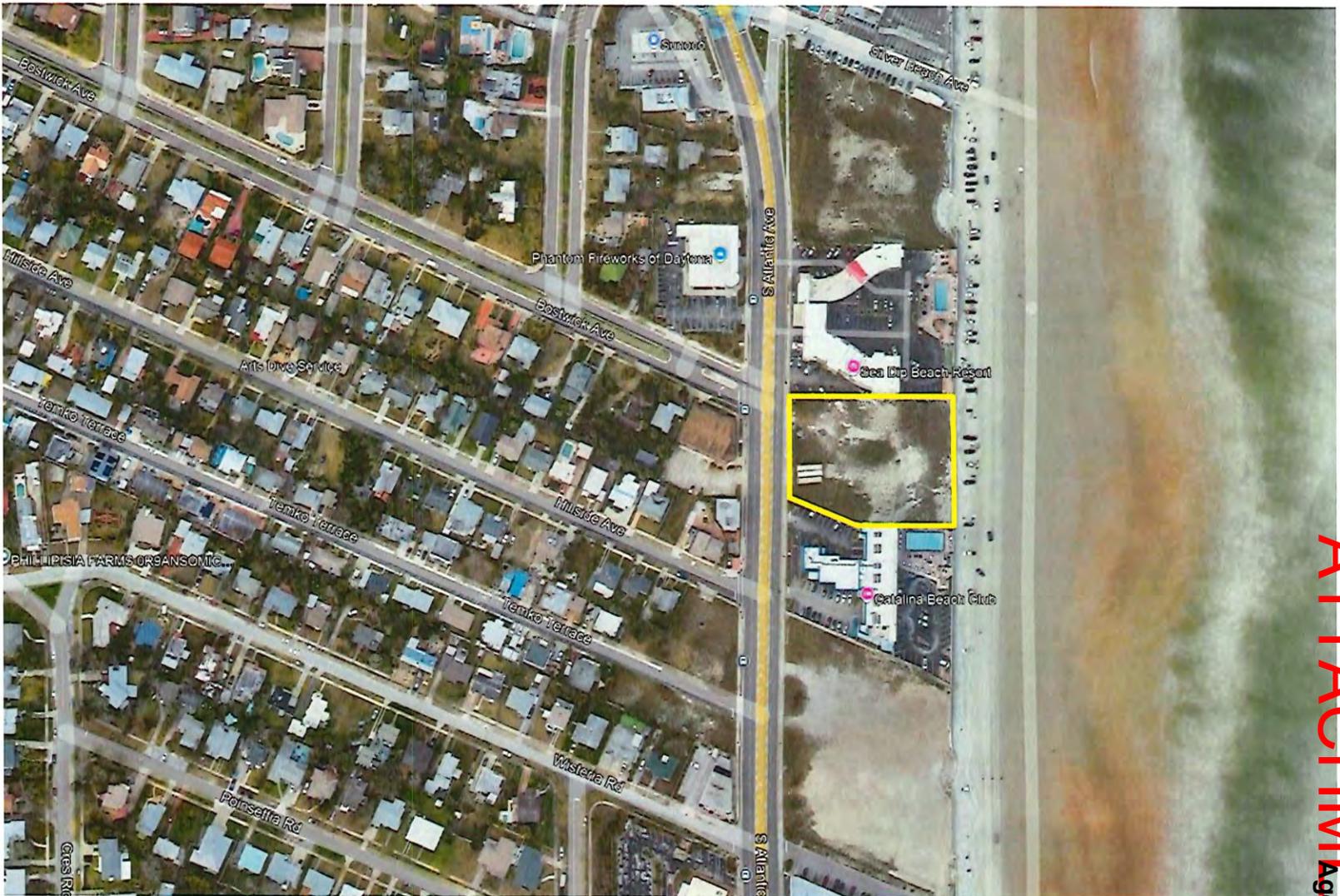


R O W Ø 1

SDG

S E A W A Y
D E S I G N
G R O U P

SITE AERIAL



PROPERTY

1299 S. ATLANTIC AVENUE
TOTAL AREA 1.75 ACRES



PROPOSED PROJECT

- **5 STAR LUXURY HOTEL**
- 24 STORY
- 260 ROOMS AND SUITES
- 308 PARKING SPACES
- GROUND FLOOR RESTAURANT
- OCEAN FRONT POOL
- OCEAN FRONT BAR
- BRANDED SPA
- BALLROOM & EVENT SPACE
- ROOFTOP BAR AND LOUNGE

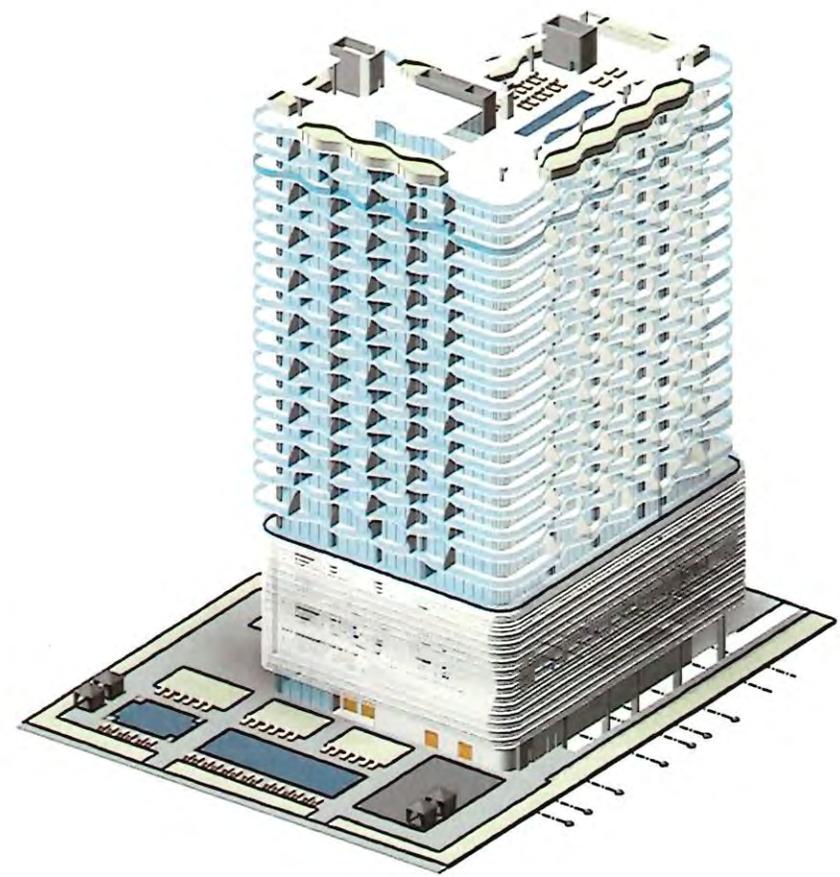
Page 73 of 292



3D VIEW



3D Hotel Tower – Pool Side



3D Hotel Tower – Ocean View Side





POOL AREA AT 7TH FLOOR



POOL AREA AT GROUND FLOOR



STREET VIEW

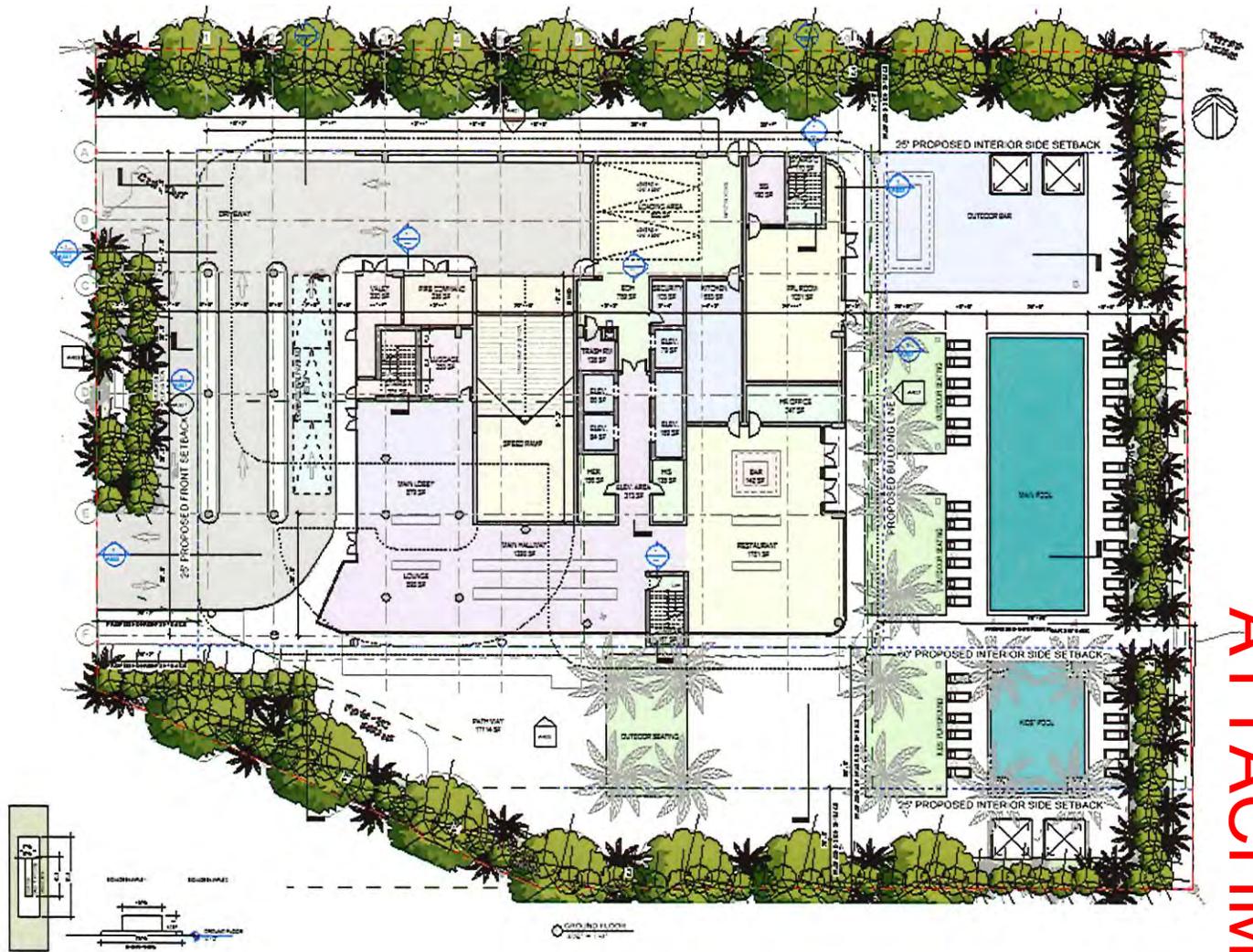


VALET- DROP OFF AND PICK UP

GROUND FLOOR LAYOUT

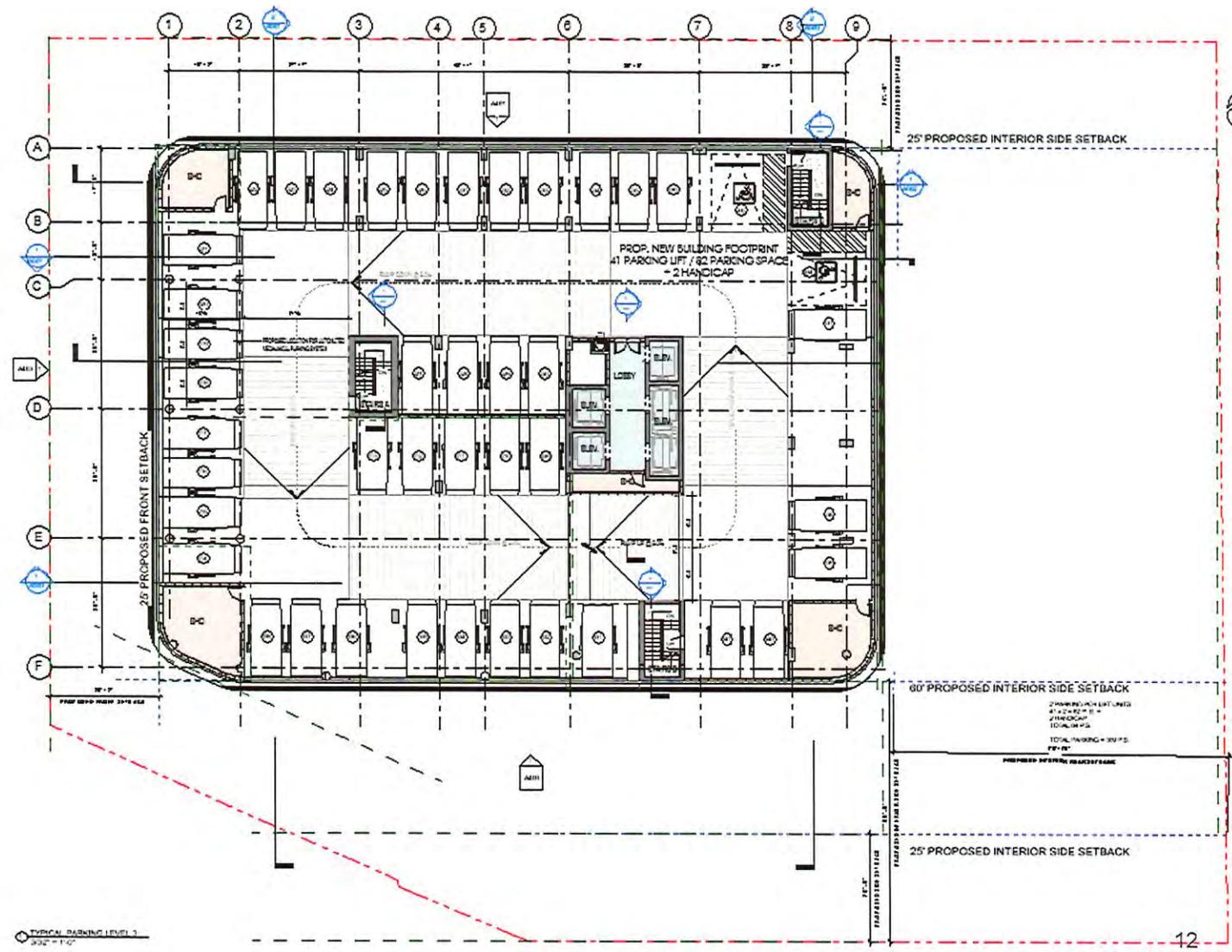
Page 79 of 292

- GROUND FLOOR RESTAURANT
- OCEAN FRONT POOL
- OCEAN FRONT BAR
- INTERIOR LOADING



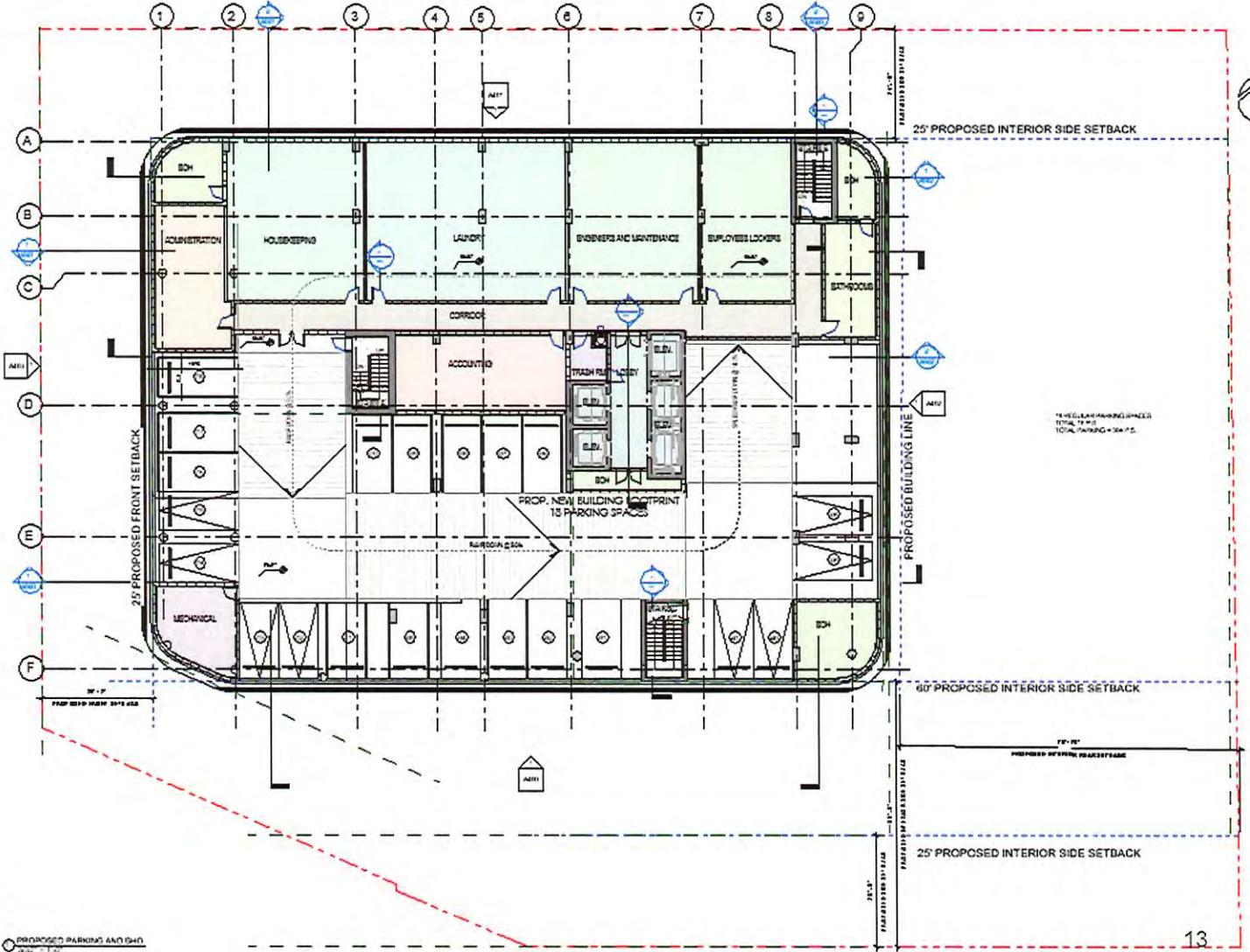
ON-SITE PARKING

4.5 LEVELS OF PARKING
308 PARKING SPACES



ADMINISTRATION BOH – FLOOR

Page 81 of 292

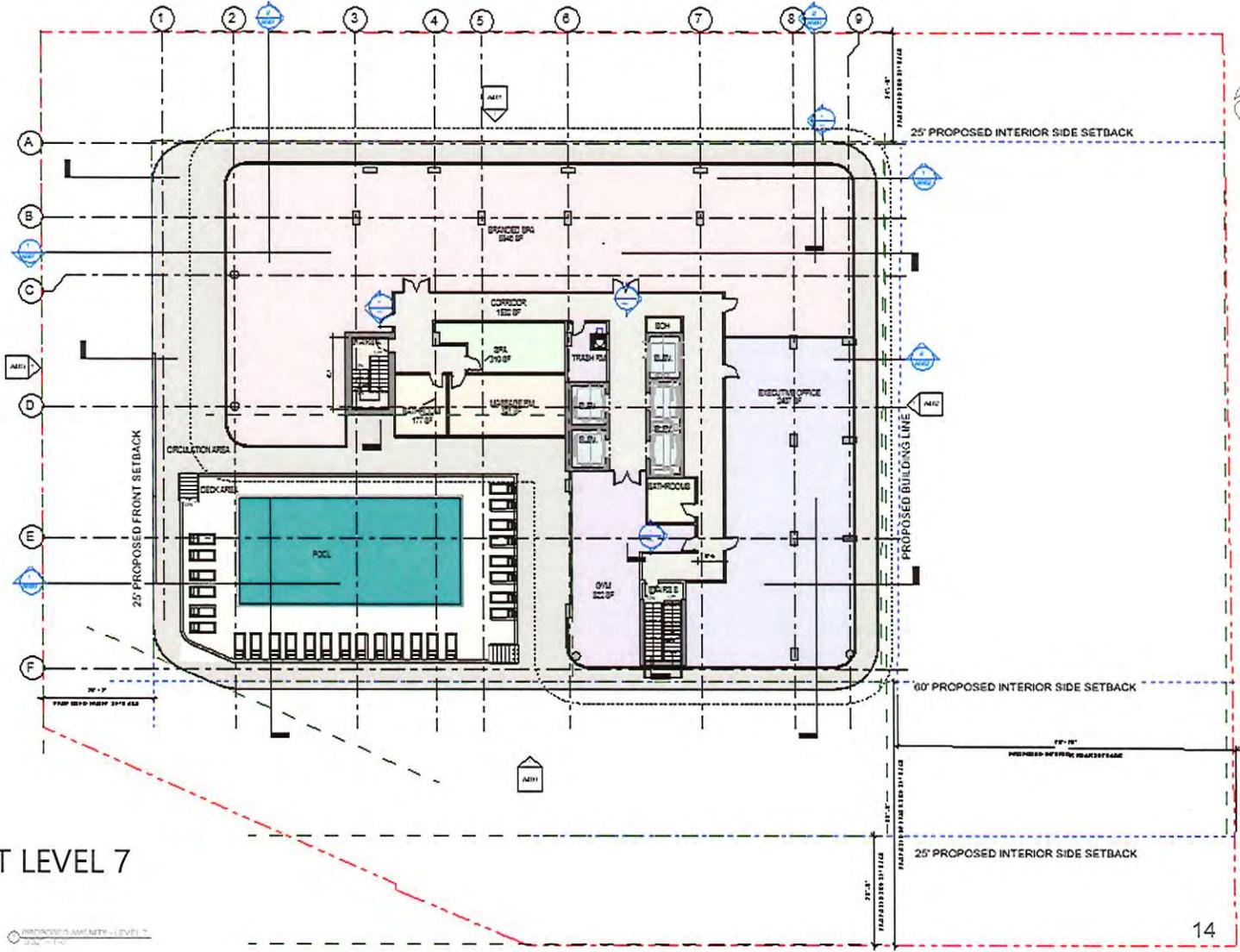


- PODIUM BACK OF HOUSE

MULTI USE AMENITY LEVEL 7TH

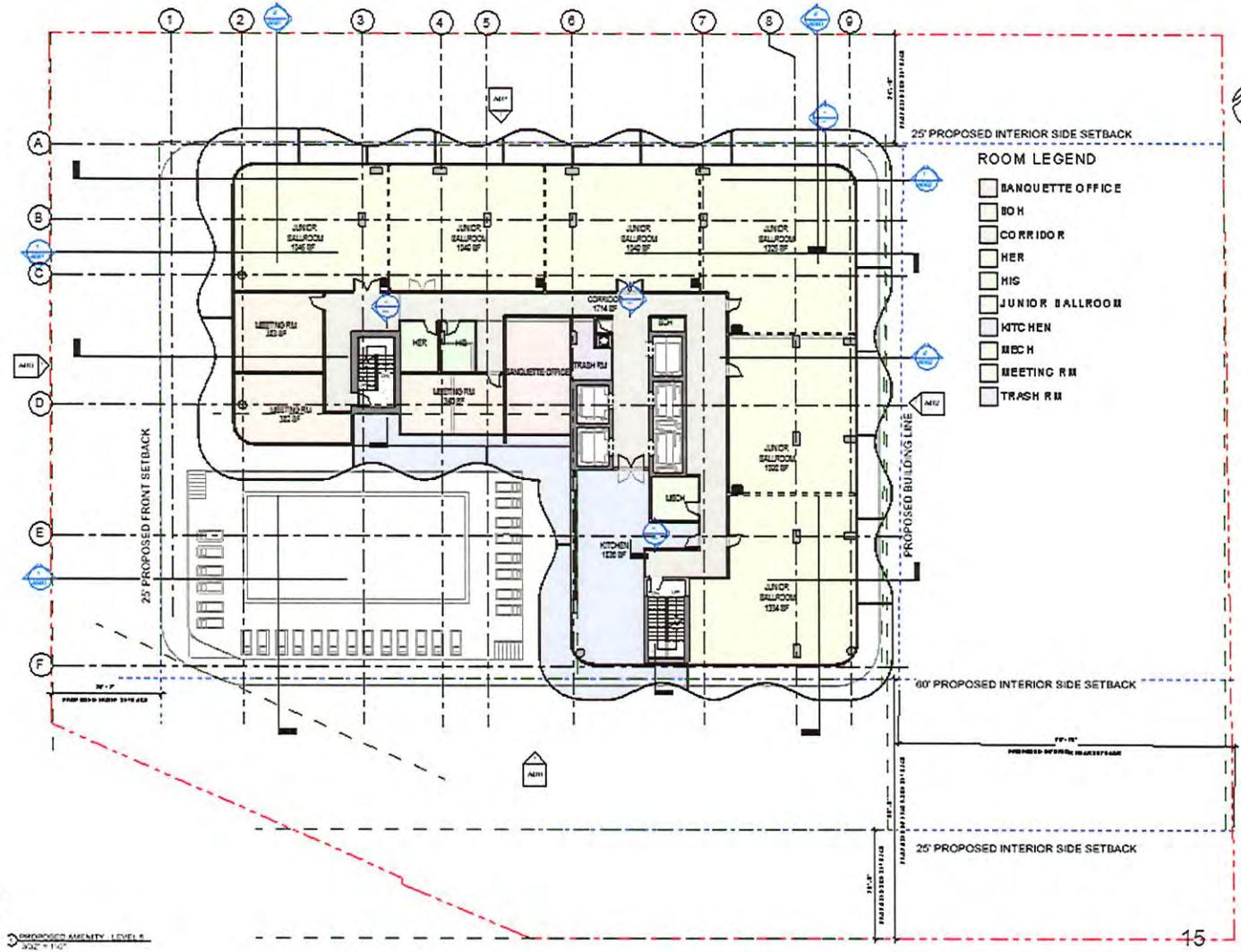
Page 82 of 292

- 5 STAR AMENITIES
- BRANDED SPA
- 1st ROOFTOP TOP POOL AT LEVEL 7
- GYM



MULTI USE AMENITY LEVEL 8TH

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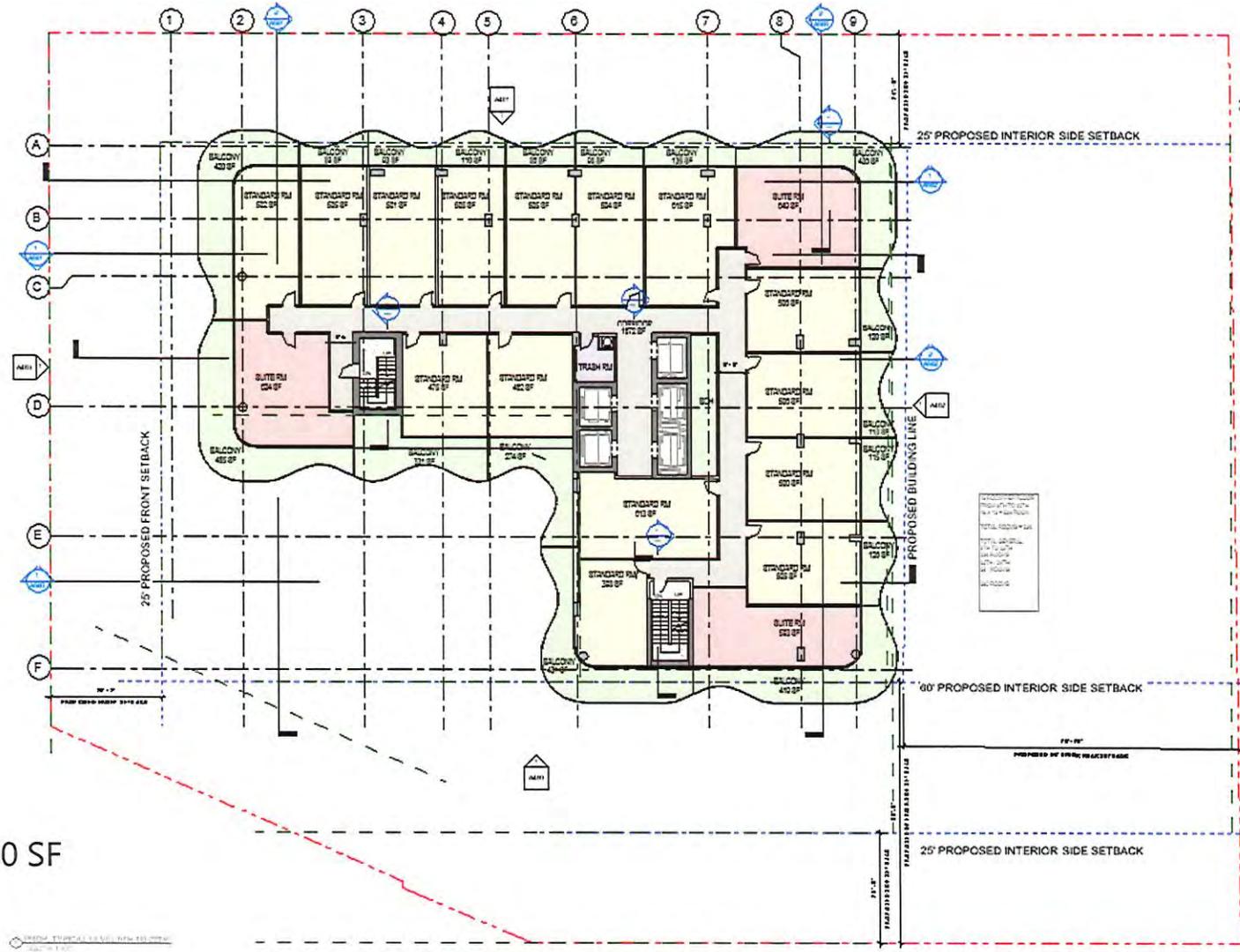
- **5 STAR AMENITIES**
- **BALLROOM & EVENT SPACE**

ORIGINATOR: AMENITY - LEVEL 8
DATE: 11/21

ATTACHMENT D
Agenda Item #4.A.

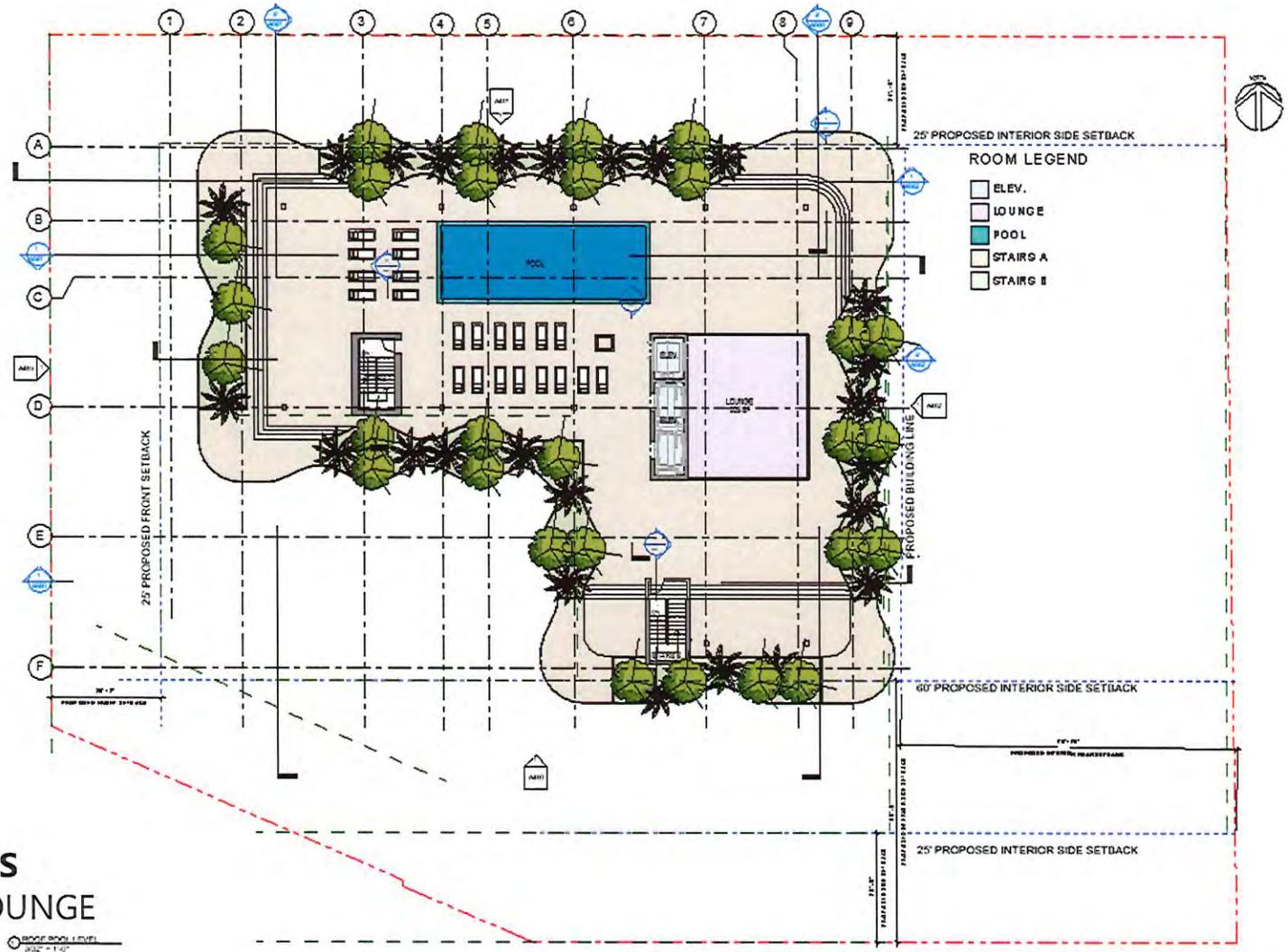
STANDARD ROOM LEVEL

500 SQ FT AVERAGE



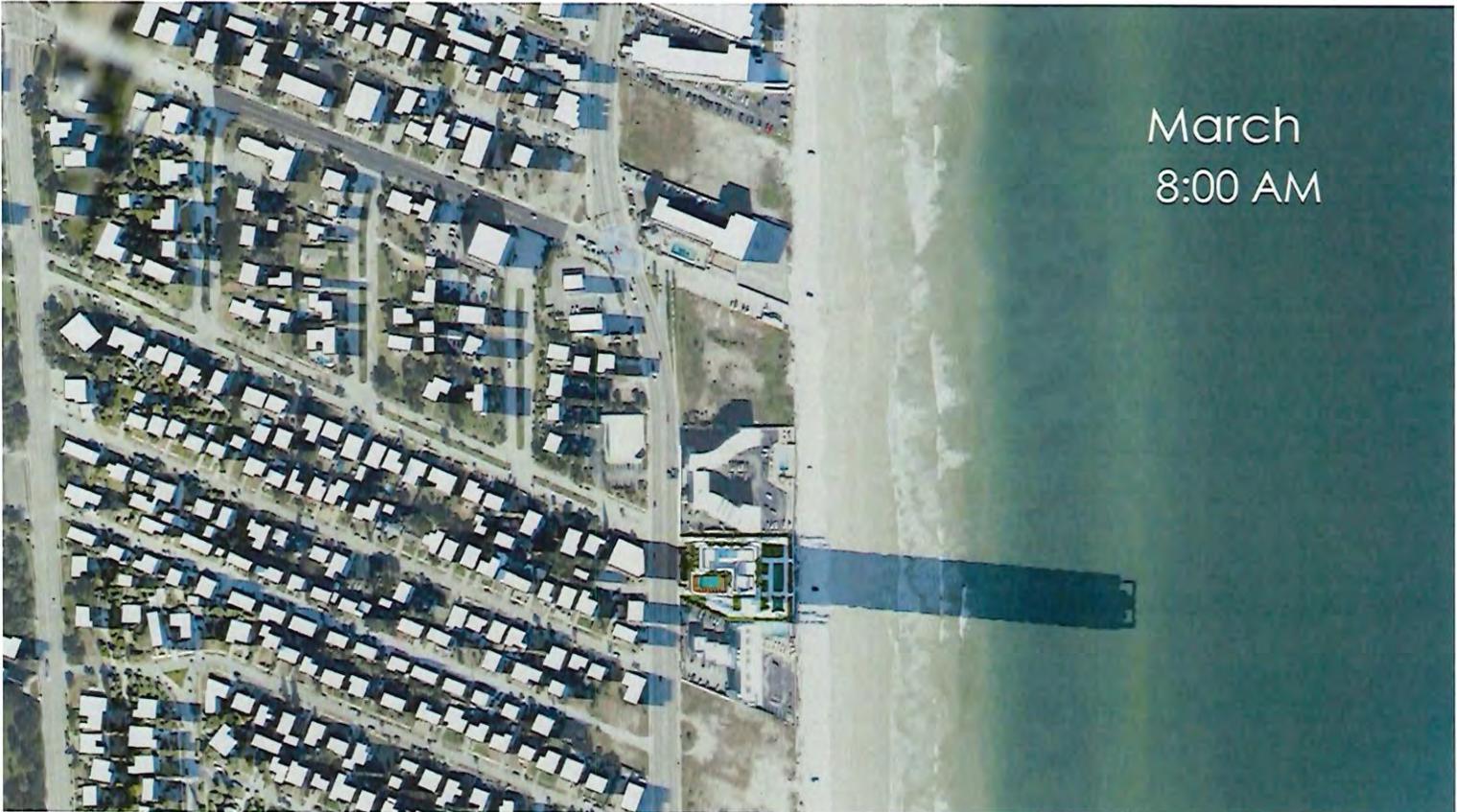
- 5 STAR LUXURY HOTEL
- STANDARD ROOMS AVG. 500 SF
- JR SUITES AVG. 800 SF

ROOF TOP AMENITY FLOOR LEVEL



Page 86 of 292

- 5 STAR LUXURY AMENITIES
- 2nd ROOFTOP POOL AND LOUNGE



SHADOW STUDIES



PROJECT ANIMATION

Thank You

KKAID Presentation





1299 SOUTH ATLANTIC AVE - DAYTONA BEACH, FL

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ATTACHMENT D
Agenda Item #4.A.



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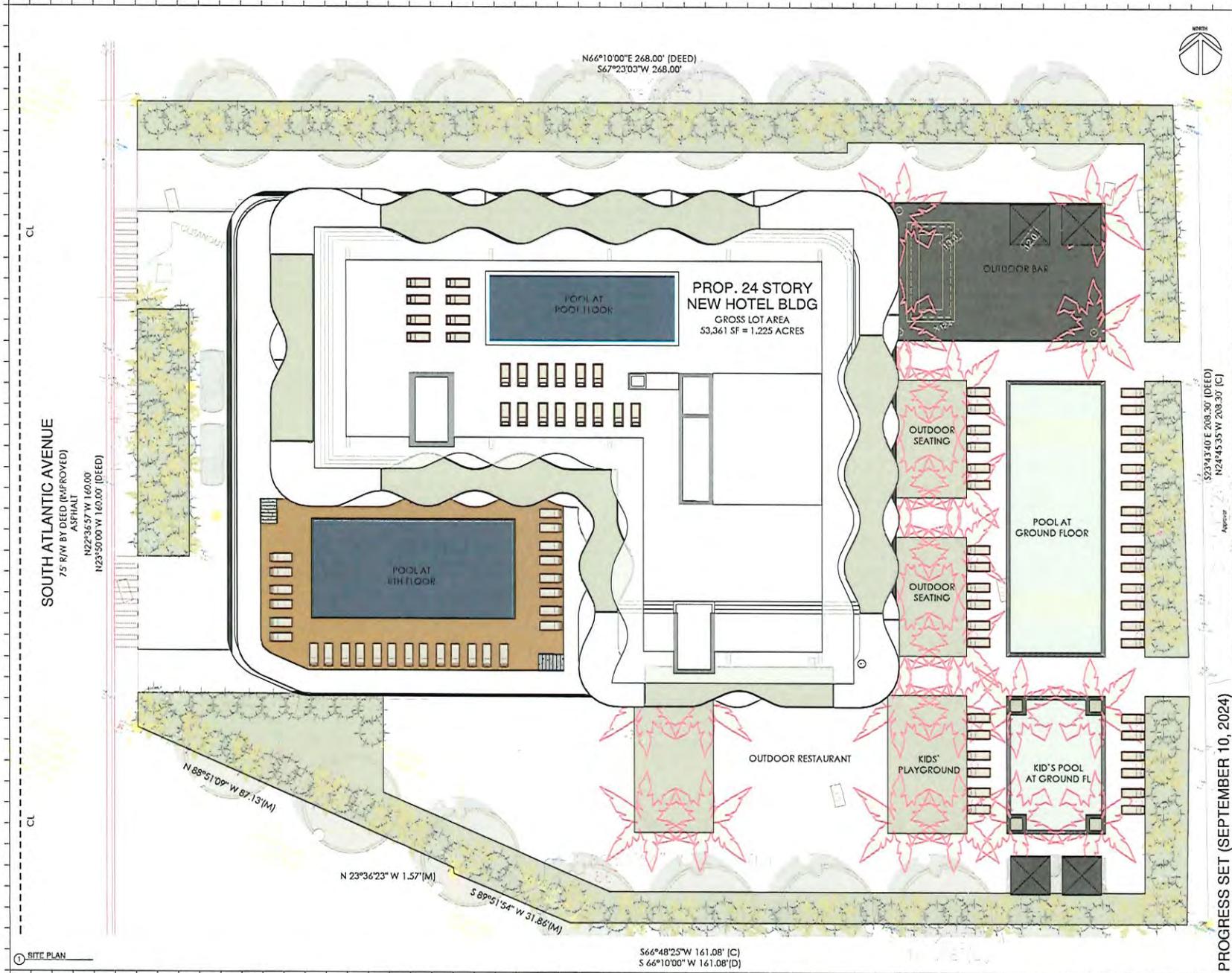
ATTACHMENT D
Agenda Item #1.A.



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SOUTH ATLANTIC AVENUE
75' R/W BY DEED (IMPROVED)
ASPHALT

N22°56.57'W 160.00'
N23°50'00"W 160.00' (DEED)

N66°10'00"E 268.00' (DEED)
S67°23'03"W 268.00'

PROP. 24 STORY
NEW HOTEL BLDG
GROSS LOT AREA
53,361 SF = 1.225 ACRES

S23°43'40"E 208.30' (DEED)
N24°45'35"W 208.30' (C)

N 65°51'09" W 67.13'(M)

N 23°36'23" W 1.57'(M)

S 89°51'54" W 31.86'(M)

S66°48'25"W 161.08' (C)
S 66°10'00" W 161.08'(D)

Rev.	Date	Rev.	Date

2169
DAYTONA BEACH CONDO HOTEL
1289 S ATLANTIC AVE
DAYTONA BEACH, FL 32118

Owner
Name: Daytona Beach 1289 LLC
Address: 850 NW 7th Street, Suite 204
Miami, FL 33128
Phone: 305.774-2228
Email: dbh@daytonabeach.com

Architect
Name: Kobi Karp
Address: 1371 NW 28th Street
Miami, Florida 33127
Tel: 305.373.1818
Email: kobikarp@kobikarp.com

City
Name: LAV Engineering, PLLC
Address: 327 N. US HWY 1 - 5th A.
Ormond Beach, FL 32174
Tel: 386.310.7829
Email: lav@lavengr.com

Land Use Attorney
Name: Cobb Cole
Address: One Daytona Boulevard, Suite 600
Daytona Beach, FL 32114
Tel: 386.222-4000
Email: Bob.McCroskey@CobbCole.com



SITE PLAN

Date:	4-4	Sheet No.:	A200
Scale:	1/8" = 1'-0"	Project:	2169

PROGRESS SET (SEPTEMBER 10, 2024)

ATTACHMENT #1.A. Agenda Item

Project Overview | Executive Team

Development Team



Andres Peñuela
Managing Member

- Pablo has a Bachelor's degree in Business Administration from Boston University. He has invested over 15 years in real estate, participating in the development of numerous high-rise developments and acquisitions in Miami.
- Focused on achieving high returns and client satisfaction, he has overseen acquisitions and client relations, maintaining strong connections with investors and industry professionals.
- His work on major projects such as Solaris Brickell, Gallery Art, Mediterranean, Gables View, Douglas Place and City Palms demonstrates his expertise in both real estate development and sales strategy.



Alfonso Perez
Global Head of Acquisitions

- Experienced lawyer specializing in real estate investment and development.
- Holds a Master's degree in Real Estate Development and Urbanism from the University of Miami, along with executive education from the Program on Negotiation at Harvard University School of Law.
- Completed additional studies in Data Science in Real Estate from MIT School of Architecture and Planning and holds an LLM from Boston University School of Law.



Glen Andrews
Chief Financial Officer

- A physics graduate from the University of Pennsylvania, he attended graduate school at the École des Hautes Études Commerciales (HEC) in Paris, France.
- With over 20 years of experience in Mergers & Acquisitions and Private Equity, Glen has worked with major corporate and government clients around the world.
- Previously, he was an Executive Director at AGC Equity Partners (UK), leading investments in energy, infrastructure and shipping. He also held the position of Vice President at Lazard (UK), where he focused on energy and infrastructure.



Edward Kaczmarek
Head of Constructions

- A global real estate consultant with over 20 years of experience, specializing in real estate development, strategy and financial services.
- Over the past 25 years, Edward has been involved in all aspects of successful real estate projects, from initial strategic decisions through financing, design, construction and post-occupancy management.
- Edward led the \$2 billion One Wall Street project, the largest residential redevelopment operation in New York. This project includes apartments, retail, fitness centers and office space.

Project Overview | Executive Team

Professional Team



Rhys O'Connell
Hospitality Advisor

- With over 25 years in the industry, Rhys' focus on guest satisfaction has resulted in unforgettable experiences and loyal customers.
- As General Manager, he oversaw the 179-room and suite Mayfair House Hotel & Garden, plus 8,500 square feet of flexible event space.
- O'Connell joined the hotel after receiving three of the travel industry's most prestigious awards in 2023: Travel + Leisure's It List, Condé Nast Traveler's Hot List and Condé Nast Traveler's Readers' Choice Awards.



Matt Martinez
Hospitality Advisor

- With over 13 years in real estate, Matthew has been a key figure in prestigious residential properties in South Florida and New York.
- His ability to work in development planning, marketing and sales adds real value for both developers and iconic hospitality brands.
- Matthew has led development, marketing and sales strategies on over \$4 billion in residential developments, demonstrating his influence in the real estate market.



Ruby Ramirez
Creative Director

- Ruby Ramirez, brings an international sensibility to her foundation. Her passion for gastronomy and her constant curiosity enrich her creativity in all projects.
- Starting in YOO's London office under the direction of Philippe Starck, Ruby worked alongside legendary figures such as Marcel Wanders, Kelly Hoppen and Jade Jagger.
- Following her time at YOO, she founded STUDIO RAMIREZ, focusing on hospitality and restaurant interiors.



Vianny Sanguily
Director of Construction

- Vianny Sanguily is an architect with extensive experience in architectural design, interior design and project management.
- Throughout her career, Vianny has played key roles in large-scale projects such as Four Seasons at The Surf Club, The Surf Club Residences, 57 Ocean, Metropica, Prive at Island Estates, Icon Brickell, Icon South Beach and Las Olas Beach Club.
- After working with The Related Group, Vianny founded her own design and project management studio, Urvan Management.

Project Overview | Third Parties

Coastal Construction Group Overview

- Leader construction company with +25 years of operations in Florida. Coastal employs +400 people and has built a distinguished list of public and private clients.

The company specializes in nine major markets:



Coastal stands out for its ability to adapt to the client's needs and overcome project challenges.



The company has received numerous national, regional and local awards.



Coastal Cares, the philanthropic arm, provides monetary and in-kind contributions to charitable organizations.



Source: Information provided by the Company.

Latest Relevant Projects



Sawyer's Walk
Miami

18 Stories	578 Units	1.4 M ft ²
Type	Mixed-Used	
Completed	2024	
Client	Swerdlow Group	
Architect	Arquitectonica	



Four Seasons
Fort Lauderdale

23 Stories	231 Units	0.7 M ft ²
Type	Multi-Family / Hospitality	
Completed	2022	
Client	Fort Partners	
Architect	Kobi Karp Architecture & Interior Design of Miami	



Max Daytona
Daytona, Florida

12 Stories	72 Units	0.2 M ft ²
Type	Multi-Family	
Completed	2021	
Client	Bayshore Capital	
Architect	WJ Weeks Architecture	

Project Overview | Sponsor

Sentai Capital Overview

- U.S.-based real estate investment firm founded by four industry leaders in the U.S. and Latin America. Together, they have developed and invested +\$300 million in real estate projects around the world.

Sentai Capital works hard to identify and select the best investment opportunities in the real estate market:



The company's investments are focused on three main objectives:



Sentai Capital has 3 strategic partners who bring their experience and vision:



Kobi Karp Architecture

- Sustainable architectural design firm for real estate projects.



Studio Ramirez

- International design studio headed by creative director, Ruby Ramirez. Defining a new era of luxury interiors.

ROW 01

- Row 01 is the Hospitality and Commercial Division of Studio Ramirez born from the collaborative vision of two industry veterans, Ruby Ramirez and Vianny Sanguily.

ROW 01

Source: Information provided by the Company.

Latest Projects

Student Housing

SENTAI CAPITAL has officially partnered up with Lemon Hill Ventures to acquire, renovate, lease, and hold student housing in the great city of Philadelphia. Focusing the investment on Temple University's surroundings, in September of last year, they refinanced the whole portfolio for the first stage of this investment through Berkadia. The second stage will be open soon.

76 West 105th St

SENTAI CAPITAL represented by Alfonso (Head of Acquisitions), partnered up with local developer to develop a six-story building in the Upper West Side of Manhattan, one and a half blocks away from Central Park -the best outdoor space in the city and designed by renowned architecture firm INOA Architecture. They are happy to announce that the building was successfully developed, and this project is a reality.

One Wallstreet

In August 2018, Edward became EVP of Design and Construction at Macklowe Properties, overseeing the \$2 billion, 1.2 million-square-foot One Wall Street development. The project includes 566 apartments, a Whole Foods, Life Time Athletic, and the first U.S. Printemps store. Amenities feature a rooftop restaurant and a fitness club with a 75-foot pool.

Project Overview | Design & Hospitality Partners

Potential Management and Operation Firms



- World-renowned brand with more than 70 properties in major cities in 23 countries. Its legacy dates to the Ritz Hotel in Paris and the Carlton Hotel in London.



- Canadian luxury hotel chain with more than 100 properties worldwide. Its focus is on excellence and customer satisfaction.



- Synonymous with exclusive luxury. The chain manages and operates hotels and resorts located in the highest echelon of the hotel industry.



- Conceived as a luxury brand with a naughty touch. Its hotels offer luxurious and extraordinary experiences, imbued with a playful spirit.

Source: Information provided by the Company.

Kobi Karp Architecture

- Kobi Karp Architecture specializes in modern, sustainable designs for hospitality, residential, and mixed-use projects. Key architectural features in their projects often include integrating natural surroundings, using eco-friendly materials, and emphasizing luxury and functional spaces.

Sustainable, luxury design

Integration with local environment

Use of advanced architectural technologies

Expertise in high-end hospitality

Focus on functionality and aesthetics

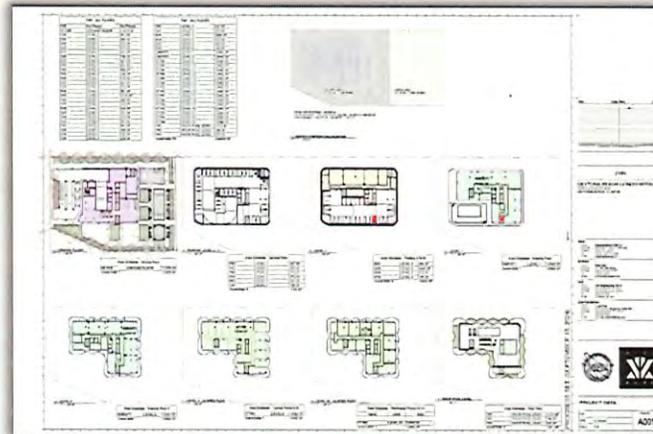
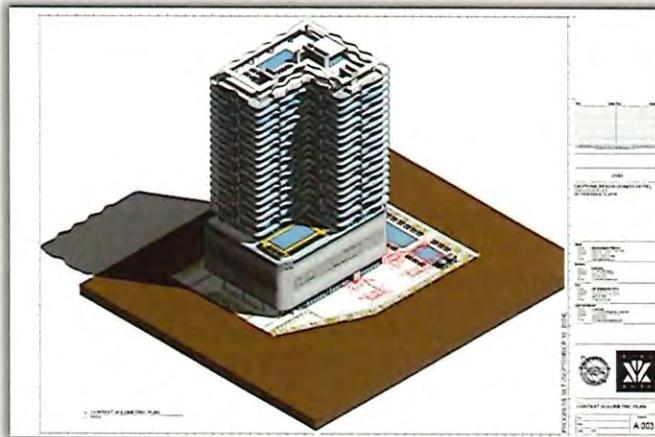
Relevant Projects



Project Overview | Final Zoning & Design

Final Zoning Set & Concept Design Delivered

- Kobi Karp Architects have successfully delivered the final zoning set and concept design package for the Daytona Beach hotel project. The images below are included to illustrate the completion of these deliverables. They represent select visuals from the approved package, confirming that all necessary design components are finalized and ready for implementation.



Project Overview | Rooms

Square Footage

Outdoor Space		
Description	Units	ft ²
Rooms	260	Average 350
Total + Core & Corridor		95,276

Food & Beverage Breakdown		
Description	Units	ft ²
Lobby Restaurant / Bar	1	1,200
Roof-Top Bar	1	4,000
Banquet Floor Kitchen	1	2,500
Total		7,700

Amenities		
Description	Units	ft ²
Lobby / Lounge / Common	1	2,633
Function Space	1	9,481
Spa	1	5,954
Fitness Center	1	990
Total		19,058

Outdoor Space		
Description	Units	ft ²
Parking (Spots & Ramps, etc.)	250	74,340
Total		74,340

Source: Information provided by the Company.

Room Highlights

Immersive Comfort

- Rooms are designed to provide more than just a place to sleep—they offer an immersive experience in comfort and style.

Thoughtful Luxury

- Each room balances luxury and warmth, creating a serene environment for every guest.

Premium Room Features

- Custom-made furnishings
- Marble accents
- Soft textures that promote relaxation

Modern Amenities

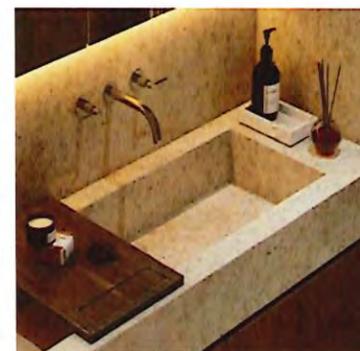
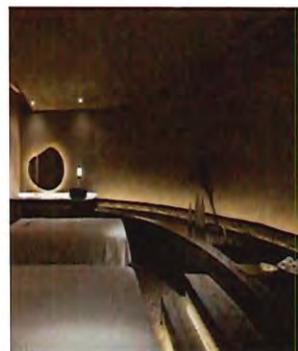
- Beautifully appointed bathrooms
- Personal workspaces
- Every detail carefully selected for comfort, elegance, and timeless appeal

Versatile Accommodations

- Rooms cater to both quiet getaways and business stays.
- Average size at 350 ft², offering an intimate and stylish atmosphere.



Project Overview | Look & Feel



Project Overview | Look & Feel

Lounges & Social Spaces

Pearl Beach Club’s lounges and social spaces blend luxury with comfort, providing guests with refined environments for relaxation and entertainment. From the elegant Lobby to the vibrant Rooftop Lounge and serene Beach Club, each space is designed to enhance the guest experience with sophistication and style.

Lobby

- Elegant marble reception desk with soft wood accents and gold details.
- Welcoming ambiance blending luxury with comfort.



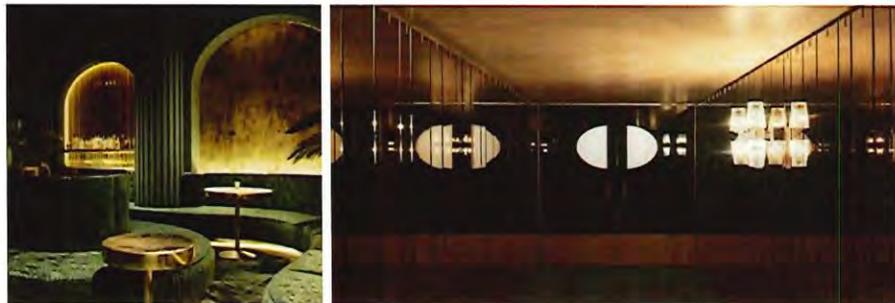
Beach Club

- Sophisticated seaside escape with refreshing cocktails, light bites, and breathtaking ocean views.
- Perfect for daytime relaxation and lively evening gatherings.



Pearl Lounge

- Premier venue for live performances and exclusive events.
- Stunning beachfront views and state-of-the-art acoustics.



Source: Information provided by the Company.

Rooftop Lounge

- Panoramic ocean and city views, vibrant décor, and custom-crafted cocktails.
- Ideal for social events, sunset gatherings, and serene relaxation.



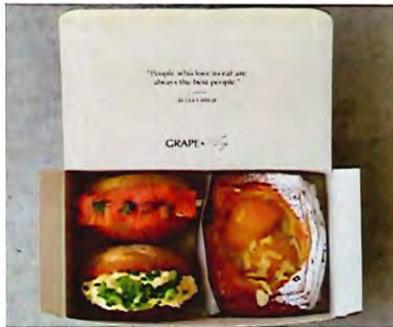
Project Overview | Look & Feel

Dinning & Bar

The dining options at Pearl Beach Club offer a range of curated experiences, from the locally inspired cuisine of the Signature Restaurant to the expertly crafted cocktails at the Bar. The Grab and Go service ensures quality and convenience for guests on the move, maintaining the high standards of the Pearl Beach Club.

Grab and Go

- Convenient, high-quality meals and snacks with locally sourced ingredients.
- Seamless selection in a sleek, thoughtfully designed space.



Bar

- Stylish, comfortable space offering expertly crafted cocktails, fine wines, and local brews.
- Paired with artisanal small plates and dishes inspired by the local culinary scene.



Signature Restaurant

- Local flavors combined with global inspirations in a sophisticated setting.
- Accessible yet elevated dining experience with rich wooden tones and elegant lighting.



Source: Information provided by the Company.

Project Overview | Look & Feel

Wellness & Guest Experience

Pearl Beach Club prioritizes guest well-being through its Wellness Level, offering a holistic approach to relaxation. The guest rooms serve as elegant sanctuaries, providing comfort and modern conveniences, while the versatile Gathering Spaces cater to both intimate and large-scale events with professionalism and care.

Wellness

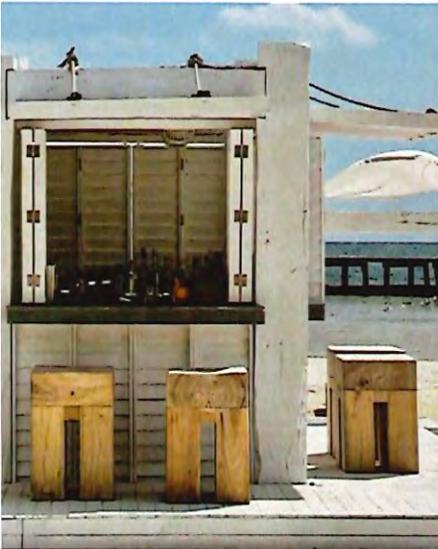
- Holistic relaxation and rejuvenation options, including massages and workouts.
- Serene, immersive environment tailored to personal wellness journeys.



Gathering Spaces

- Versatile venues for meetings and events with state-of-the-art technology.
- Bespoke furnishings and warm décor creating meaningful, sophisticated experiences.





Page 108 of 292

Thank you.



ATTACHMENT D
Agenda Item #4.A

NEIGHBORHOOD MEETING NOTICE
A NEIGHBORHOOD MEETING HAS BEEN SCHEDULED ON
1/27/25 AT 6:00pm TO INTRODUCE THE
FOLLOWING APPLICATION FOR THIS PROPERTY:
PD-Gi Pezonog, Dav 2024-573
THE MEETING WILL BE HELD AT THE FOLLOWING LOCATION
Daytona Grande Oceanfront Hotel 422 N Atlantic
Ave Daytona Beach FL 32178
INTERESTED PARTIES CAN CONTACT Cobb Cox
AT 386-323-9264 FOR FURTHER INFORMATION

Agenda Item 4B (Legislative Hearing)
Large Scale Comprehensive Plan Amendment
 DEV2024-379
 Florida Logistics Center LSCPA

STAFF REPORT

MEETING DATE: June 26, 2025 Planning Board
REPORT DATE: June 18, 2025
SUBJECT: DEV2024-379 Florida Logistics Center LSCPA
APPLICANT: Jessica Gow, Esq. Cobb Cole and Associates
OWNER: FL P40, LLC
STAFF: Emilio A. O'Brien, Senior Planner

SUMMARY OF REQUEST

Jessica Gow, Esq. of Cobb Cole & Associates, on behalf of FL P40, LLC (the property owner), requests approval of a Large Scale Comprehensive Plan Amendment (LSCPA). The LSCPA proposes changing the Future Land Use Map (FLUM) designation of the 276.5± acre site from Existing Potential Parks (EX-PP), General Industrial (GI), Interchange Commercial (IC), Level 1 – Residential (L1-R), Mixed Use (MU), and Office Transition (OT) to entirely Mixed Use (MU). Associated changes to the Neighborhood “R” development policies would limit development on the site to no more than 6,000,000 square feet of office and light industrial uses, 100,000 square feet of retail uses, and 1,500 residential units (approximately 5.4 dwelling units per acre). The overall development would also be restricted to generating no more than 3,000 external P.M. peak hour vehicle trips. Separately, the applicant is requesting to rezone the site to Planned Development – General (PD-G).

Staff recommendation: Staff finds that the Large-Scale Comprehensive Plan Amendment (LSCPA) is consistent with the Comprehensive Plan, does not represent urban sprawl, and the City has available capacity to accommodate the projected demand on available water and sewer services.



SITE INFORMATION

Location: The subject site is generally located south of Beville Road, west of Williamson Boulevard.

Parcel No: **523500000010, 620200000060, 6202000062, 620100000015**

Property Size: ± 276.5 acres

Existing Zoning: Agricultural (AG)

Existing Future Land Use: Existing Potential Parks (EX-PP), General Industrial (GI), Interchange Commercial (IC), Level 1 – Residential (L1-R), Mixed Use (MU), and Office Transition (OT)

Adjacent Land Use and Zoning: *Existing uses listed in the table below are not intended to be an all-inclusive list, but a general summary of types of uses near the subject property (see map series).*

	Existing Use	Future Land Use Designation	Existing Zoning Classification
Site	Agriculture, Grazing	EX-PP, GI, IC, L1-R, MU, OT	AG
North	Andros Isles Apartments, Mobil Gas Station, RaceTrac Gas Station, Vacant Commercial	IC	PD-G (Andros Isles Villages), T-5
South	Vacant Residential	L1-R	AG, PD-G (Walkers Green)
East	Pelican Bay	GOLF, L1-R	PD-G (Pelican Bay)
West	Agriculture, Grazing, Interstate	MU	PD-G (Waypoint)



Aerial View of the Subject Site

PROJECT DESCRIPTION

Proposed Amendment to the Future Land Use Map

The subject site comprises approximately 276.5 acres, for which the applicant has proposed an amendment to the City's Comprehensive Plan as follows:

Change the Future Land Use Map designation from Existing Potential Parks (EX-PP), General Industrial (GI), Interchange Commercial (IC), Level 1 – Residential (L1-R), Mixed Use (MU), and Office Transition (OT) to Mixed Use (MU) for the entire site.

Proposed Amendment to Neighborhood R, revising Issue (b), Policy (1), (4), (6), (7) & (8)

(b) Issue: The large undeveloped area south of Beville Road, between I-95 and Williamson Boulevard, provides an opportunity for major development to service the interstate. This development must consider the need for preserving and protecting the existing Pelican Bay neighborhood.

(1) Policy: Properties in this corridor shall provide interconnectivity through a north-south connector roadway. Major internal streets located within the Walker's Green Development, including both the north-south collector road and east-west roads connecting this road to Williamson Boulevard, shall be subject to significant landscaping on adjacent lots, "parkway" design principles (meandering route, variable medians, and significant median and edge landscaping), ~~low~~ monument signage (5 foot maximum overall height) and interesting pavement treatments (such as brick pavers).

(2) Policy: Uses shall be designed and oriented to reduce visibility of service areas (loading, mechanical equipment) from major external and internal routes.

(3) Policy: Pedestrian linkages between adjoining uses shall be enhanced.

(4) Policy: Building architecture located within the Walker's Green Development (including scale, color, and style) shall be coordinated. Architectural styles would be similar to that demonstrated by the ICI-Gale development at the intersection of Beville Road and Williamson Boulevard (southeast quadrant). **(Ordinance #09-278)**

(5) Policy: Individual projects shall be coordinated through planned development zoning; subdivision platting shall be used to coordinate development of infrastructure, including the major internal road network. Access to individual properties shall be coordinated – not every parcel will be permitted access to the major internal road network. **(Ordinance #09-278)**

(6) Policy: Uses in the interchange commercial area shall be limited to retail uses associated with the traveling public, as well as hotels, motels, restaurants, and other uses directly related to the needs of travelers. Truck stops shall be prohibited. Large retail establishments oriented to local consumers shall also be prohibited. ~~Within this interchange area there shall be a sub-area extending south of a line lying 800± feet south of, and parallel to, the southerly line of the Beville Road right-of-way in which retail uses shall be restricted to a FAR of 0.25 and office uses shall be restricted to a FAR of 0.50.~~

~~**(7) Policy:** Billboards on the property shall be removed at the time of development approval.~~

~~**(8) (7) Policy:** Uses shall be limited to the scale and intensity, which can be supported by the internal road systems, as well as by the capacity of intersections with the major road system (specifically Beville Road and Williamson Boulevard). This must be demonstrated before zoning changes or development orders can be approved.~~

Proposed Amendment to Neighborhood R, creating Issue (g), Policy (1)

(g) Issue: The Florida Logistics Center Planned District is located in an appropriate location for mixed-use development.

(1) Policy: For the 276.5± acre property known as the “Florida Logistics Center Planned District” and subject to DEV2024-378, nonresidential development, including office/office support and light industrial uses, shall be limited to 6,000,000 square feet, and potential retail uses shall be limited to 100,000 square feet. Residential density shall be limited to 1,500 residential units. Overall development within the site shall not exceed the generation of 3,000 external P.M. peak hour vehicle trips.

PROJECT ANALYSIS**Neighborhood Input**

A neighborhood meeting for the proposed development was held on August 28, 2024, at 6:00 p.m. at the Daytona Autograph Hotel, 1870 Victory Circle, Daytona Beach, FL 32114. Seven (7) of the applicant's representatives and eighteen (18) interested residents attended. Several neighbors expressed concern about potential traffic impacts on Williamson Boulevard from the proposed project. The development team explained the proposed cap limiting development to 3,000 P.M. peak hour trips, compared to over 37,000 trips supported by the current Future Land Use composition. Mark Watts, of Cobb Cole & Associates, informed the residents that Volusia County is designing the expansion of Williamson Boulevard from Madeline Avenue northbound to Beville Road and assured the residents that the development team is coordinating with the County to support the widening project. The construction of the Williamson Boulevard widening is funded and expected to commence before the project's impacts. Jessica Gow, of Cobb Cole, stated that access review and configuration will be coordinated with the City, County, and FDOT. When asked about the project timeline, Ms. Gow indicated that if approved, initial construction activities could begin within approximately 12 to 18 months.

(See Neighborhood meeting summary in CPA Package *Attachment A*)

School Concurrency

The Volusia County School District did not issue a standard finding of adequate capacity for the proposed increase in residential density. Instead, the District recommended that discussions be initiated among all parties to evaluate options for timely planning and construction of adequate school capacity, and to determine if a Capacity Enhancement Agreement (CEA) could be negotiated.

Subsequently, the Developer, the School Board, and the City have negotiated a tri-party School Capacity Enhancement Agreement. The School Board has since approved the agreement, which acknowledges that the proposed development may exacerbate existing school overcrowding. To mitigate this impact, the Developer has agreed to make a Capacity Enhancement Payment based on the final number of dwelling units approved through the final site plan or plat. This payment will be calculated using the then-current school impact fee rate, and will be due upon the issuance of a development order including those dwelling units.

The agreement clarifies that this payment does not reserve school capacity, and any Certificate of School Concurrency will be conditioned upon performance of the agreement. Funds received through the agreement will be applied by the School Board to improve school capacity as needed to accommodate the projected student population generated by the development.

The City Commission is anticipated to consider final approval of the School Capacity Enhancement Agreement concurrently with the second reading of the Large-Scale Comprehensive Plan Amendment and Planned Development Rezoning ordinances.

(See School Adequate Capacity No Finding of Adequate Capacity Letter *Attachment B* and School Capacity Enhancement Agreement *Attachment C*)

Impact Analysis

Urban services necessary to serve this site and the concurrency process requires that adequate capacity be available for development prior to the approval of final development orders.

The following are results for water, wastewater and traffic impacts that could be generated by the property by the most intense land use allowed under the current land use map designation and the proposed land use change. Detailed data and analysis are in the attached project analysis provided by the applicant.

(See Concurrency Analysis in CPA Package *Attachment A*)

The City's potable water treatment plant servicing this site has sufficient capacity (24.0 MGD) to accommodate the proposed Future Land Use designation. The current maximum daily flow is 14.6 MGD, with a reserve of 2.29 MGD. The proposed amendment results in a theoretical decrease of 6.82 MGD, indicating no significant impact.

The City's wastewater treatment plant servicing this site has sufficient capacity (15.0 MGD) to accommodate the proposed Future Land Use designation. The current maximum daily flow is 11.5 MGD, with a reserve of 2.57 MGD. The proposed amendment results in a theoretical decrease of 6.82 MGD, indicating no significant impact.

The current future land use generates 393,779 average daily trips (ADT) and 37,866 P.M. peak-hour trips. The proposed future land use map amendment's ADT is undetermined. However, the applicant is voluntarily capping the development at 3,000 P.M. peak-hour trips, resulting in a theoretical net decrease of 34,866 P.M. peak-hour trips compared to the maximum allowed under the current Future Land Use designations.

Consistency with the Urban Sprawl Rule

(I) Directs or locates economic growth and associated land development to geographic areas of the community in a manner that does not have an adverse impact on and protects natural resources and ecosystems.

Response: *The proposed development guides economic growth by grouping homes together and placing industrial and commercial buildings near major roads. This approach minimizes sprawl and concentrates development in appropriate geographic areas. Environmental protection is ensured through comprehensive wetland impact assessments and mitigation via regionally significant mitigation banks, floodplain compensation, and required surveys and permits for protected species like gopher tortoises and bald eagles. These measures collectively ensure that growth and land development occur in a manner that avoids adverse impacts and actively protects natural resources and ecosystems.*

(II) Promotes the efficient and cost-effective provision or extension of public infrastructure and services.

Response: *The proposed development helps provide public services like water, sewer, and roads in a smart and cost-effective way by focusing growth in an area that already has these services. The City's water and wastewater plants have enough capacity to handle the changes from the new land uses, and the plan will actually reduce the overall demand compared to what was allowed before. The applicant is also working with Volusia County and FDOT on road improvements, including a planned widening of Williamson Boulevard, to handle more traffic.*

This coordinated approach leverages existing infrastructure investments and minimizes the need for extensive new public facilities, consistent with the Comprehensive Plan goals for sustainable growth and infrastructure management.

(III) Promotes walkable and connected communities and provides for compact development and a mix of uses at densities and intensities that will support a range of housing choices and a multimodal transportation system, including pedestrian, bicycle, and transit, if available.

Response: *The proposed mixed-use development is designed to create a walkable and connected community. It will have internal roads and landscaped streets that make it easy and safe for people to move between commercial, industrial, retail, and residential areas. If built, the clustered apartments will offer different types of housing and help transition between different land uses. The development's compact design allows for well-planned infrastructure and limits direct road access, making land use more efficient and reducing urban sprawl. While public transit depends on local services, the site's location near major highways supports future options for different types of transportation. Overall, this project encourages a connected and walkable community with a mix of housing and transportation choices that fits well with the City's Comprehensive Plan.*

(IV) Promotes conservation of water and energy.

Response: *The project is designed to save water and energy by using modern building methods and systems that reduce waste. This helps protect natural resources and lowers costs for everyone.*

(V) Preserves agricultural areas and activities, including silviculture, and dormant, unique, and prime farmlands and soils.

Response: *N/A*

(VI) Preserves open space and natural lands and provides for public open space and recreation needs.

Response: *Open space will be provided within the proposed development to help preserve natural lands*

(VII) Creates a balance of land uses based upon demands of the residential population for the nonresidential needs of an area.

Response: *The proposed development establishes a balanced land use framework that addresses the diverse needs of the residential population by integrating nonresidential uses such as commercial, office, and industrial spaces. This balance provides convenient access to employment, services, and amenities, supporting sustainable community growth and enhancing quality of life. Additionally, the new housing near major thoroughfares aligns with urban trends, as residents increasingly seek convenient access to mixed-use environments that combine living, working, and recreational opportunities.*

(VIII) Provides uses, densities, and intensities of use and urban form that would remediate an existing or planned development pattern in the vicinity that constitutes sprawl or if it provides for an innovative development pattern such as transit-oriented developments or new towns as defined in s. 163.3164.

Response: *N/A*

The proposed amendment promotes a development pattern and urban form that achieves six of the preceding eight general policies. Accordingly, the proposed amendment exceeds the urban sprawl standards set forth in Section 163.3177(6)(a)(9)(b), Florida Statutes.

Consistency with the Comprehensive Plan Goals, Objectives and Policies

Objectives and Policies of the Comprehensive Plan that are relevant to this application are listed below:

Future Land Use Element

Goal 1: To achieve a future land use pattern that provides for sufficient supply of land to meet growth demands, ensures that land uses are located in a rational and efficient manner, and promotes economic development.

Response: *The proposed development will provide commercial, industrial, and residential uses that support both existing and planned growth in the area, aligning with the City's goals for rational land use and economic development.*

Objective 1.5 Residential. The City shall maintain an adequate supply of residential land which will provide a wide range of housing opportunities.

Response: *The proposed mixed-use development will support the City's continued growth by providing a variety of housing opportunities and allowing for a mix of uses that promote internal capture and efficient land use.*

Policy 1.5.1: Ensure a surplus of available undeveloped residential land for both single-family, multi-family housing opportunities by providing a variety of residential zoning districts on undeveloped property throughout the City.

Response: *This Comprehensive Plan Amendment is consistent with Policy 1.5.1 by creating opportunities for a variety of uses, including both multi-family and single-family residential housing. The property is currently vacant and underutilized, and the proposed development will introduce diverse housing options to Daytona Beach, helping to meet the needs of different income levels and household types. By allowing a range of residential housing types, including clustered multifamily units, the project supports a surplus of available residential land and provides the flexibility needed to accommodate future housing demands.*

Objective 2.3 Infrastructure: Adequate public water, sewer and drainage shall be provided for 100 percent of new developments; existing infrastructure deficiencies will be corrected to the extent that is financially feasible.

Response: *The proposed development will provide adequate public water, sewer, and drainage infrastructure for all new construction. It includes system looping to improve utility reliability and will address existing infrastructure deficiencies as financially feasible. Additionally, residents will pay impact fees to offset demand on system capacity. This approach supports the City's goals for reliable utilities and sustainable growth.*

Policy 2.3.5: All requests for development shall be reviewed to ensure that the potential impact of the proposed development does not degrade water supply capacity and public facility capacity, and that the appropriate department and/or provider is notified. A building permit or development order shall not be granted if adequate capacity is not available.

Response: *The potential impact of the proposed development will not degrade water supply capacity and public facility capacity.*

Transportation Element

Goal 1: To promote safe and efficient traffic circulation serving existing and future land uses.

Policy 1.8.4: In the review of new developments, the City shall give particular attention:

- Use of curved streets and traffic calming
- Discouragement of single-family residential lots fronting on collector or arterial streets.
- Requiring adequate buffering between residential uses and major roadways.

Response: *The proposed development addresses traffic circulation and urban design through “parkway” design principles outlined in Neighborhood R Policy (1), featuring meandering routes, variable medians, and significant landscaping that promote curved streets and effective traffic calming to enhance safety and reduce speeds. It also discourages single-family lots from fronting directly on collector or arterial roads by coordinating access and circulation through planned development zoning (Policy 5), which limits direct parcel access to major roads and supports an internal street network that improves traffic flow and provides residential buffering. Furthermore, the project ensures adequate buffering between residential uses and major roadways by requiring substantial landscaping on adjacent lots, implementing low monument signage, and emphasizing protection of nearby neighborhoods like Pelican Bay through open space preservation. These design elements collectively contribute to a safe, efficient, and visually appealing development aligned with the City’s Comprehensive Plan.*

Housing Element

Goal 1: To assure the availability of sound and affordable housing for all current and future residents of Daytona Beach.

Objective 1.1: New Construction Assist the private sector in providing the necessary additional housing units to support the planning horizon population projection.

Response: *The proposed development will assist the private sector in providing the necessary additional housing units to support the City of Daytona Beach’s planning horizon population projection. This LSCPA allows for up to 1,500 residential units (approximately 5.4 dwelling units per acre), which will contribute significantly to the City’s housing supply. By designating the entire site as Mixed Use (MU) and enabling a mix of office, light industrial, retail, and residential uses, the development supports a balanced, sustainable community that addresses both housing and employment needs.*

Policy 1.1.1: Utilize the Future Land Use Map and zoning map to assure a continued supply of vacant, underutilized or redevelopable land designated for a diversity of housing types including single-family, multi-family and manufactured housing.

Response: *This request to amend the Future Land Use Map will contribute to the overall supply of developable land that will be designated for a range of housing options and support uses.*

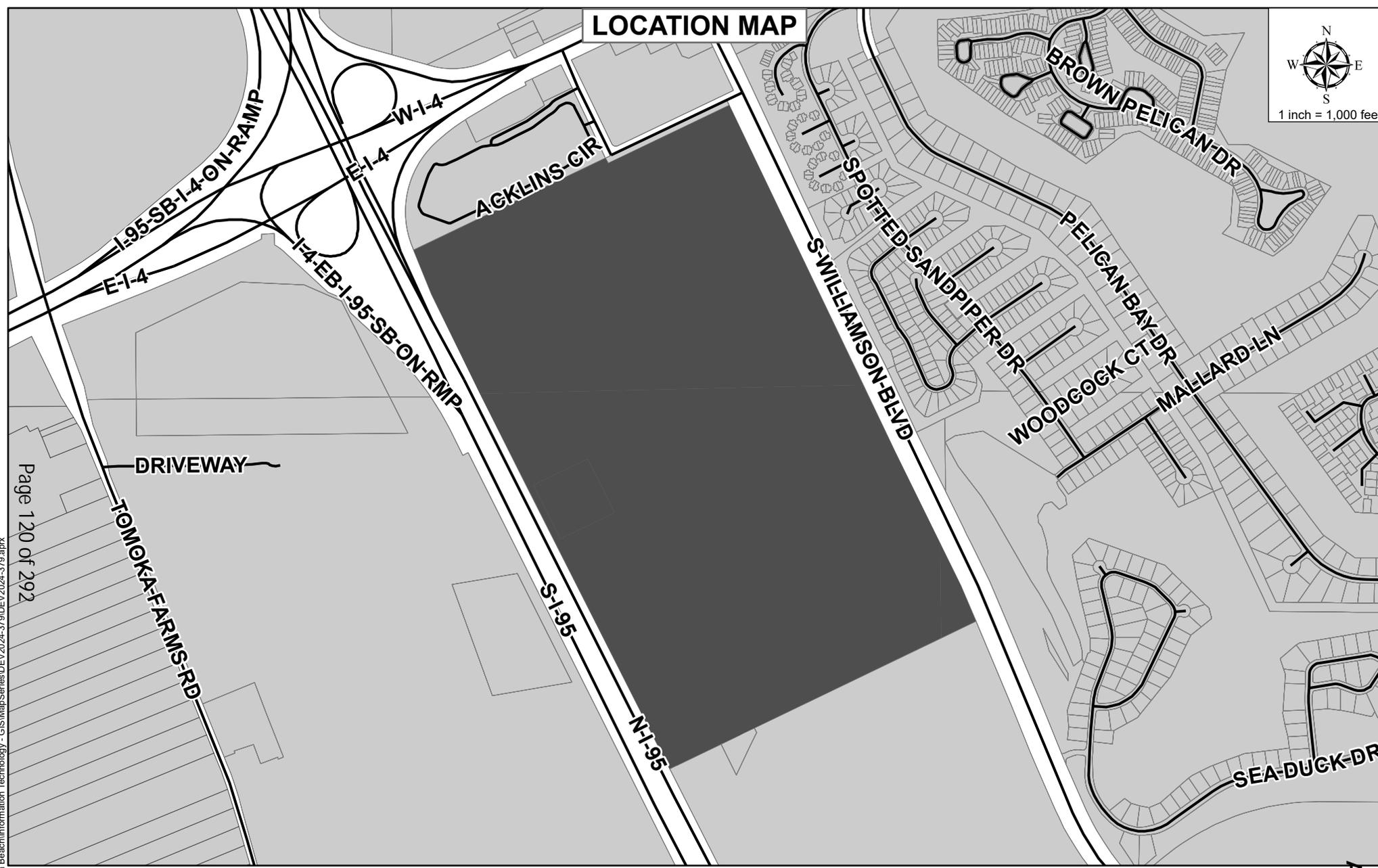
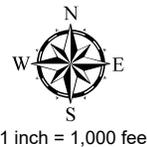
RECOMMENDATION

Staff finds that the Large-Scale Comprehensive Plan Amendment (LSCPA) is consistent with the Comprehensive Plan, does not represent urban sprawl, and that the City has sufficient capacity to accommodate the projected demand on water and sewer services. Based on staff's analysis and review, staff recommends approval of the proposed Future Land Use Map amendment—from Existing Potential Parks (EX-PP), General Industrial (GI), Interchange Commercial (IC), Level 1 – Residential (L1-R), Mixed Use (MU), and Office Transition (OT) to Mixed Use (MU)—for approximately 276.5 acres. Staff also recommends approving the amendments to Neighborhood “R,” including the creation of Issue (g), which limits residential density and commercial/industrial intensity, and caps the overall development's external PM peak-hour trip generation at 3,000 vehicle trips.

A majority vote of the Planning Board members present and voting is required to make a recommendation on this policy matter to the City Commission.

This item is tentatively scheduled for first reading and transmittal to the City Commission on August 6, 2025. The second reading and public hearing will be scheduled at the next available City Commission meeting following reviews by the Florida Department of Commerce (FloridaCommerce) and the Volusia Growth Management Commission (VGMC).

LOCATION MAP



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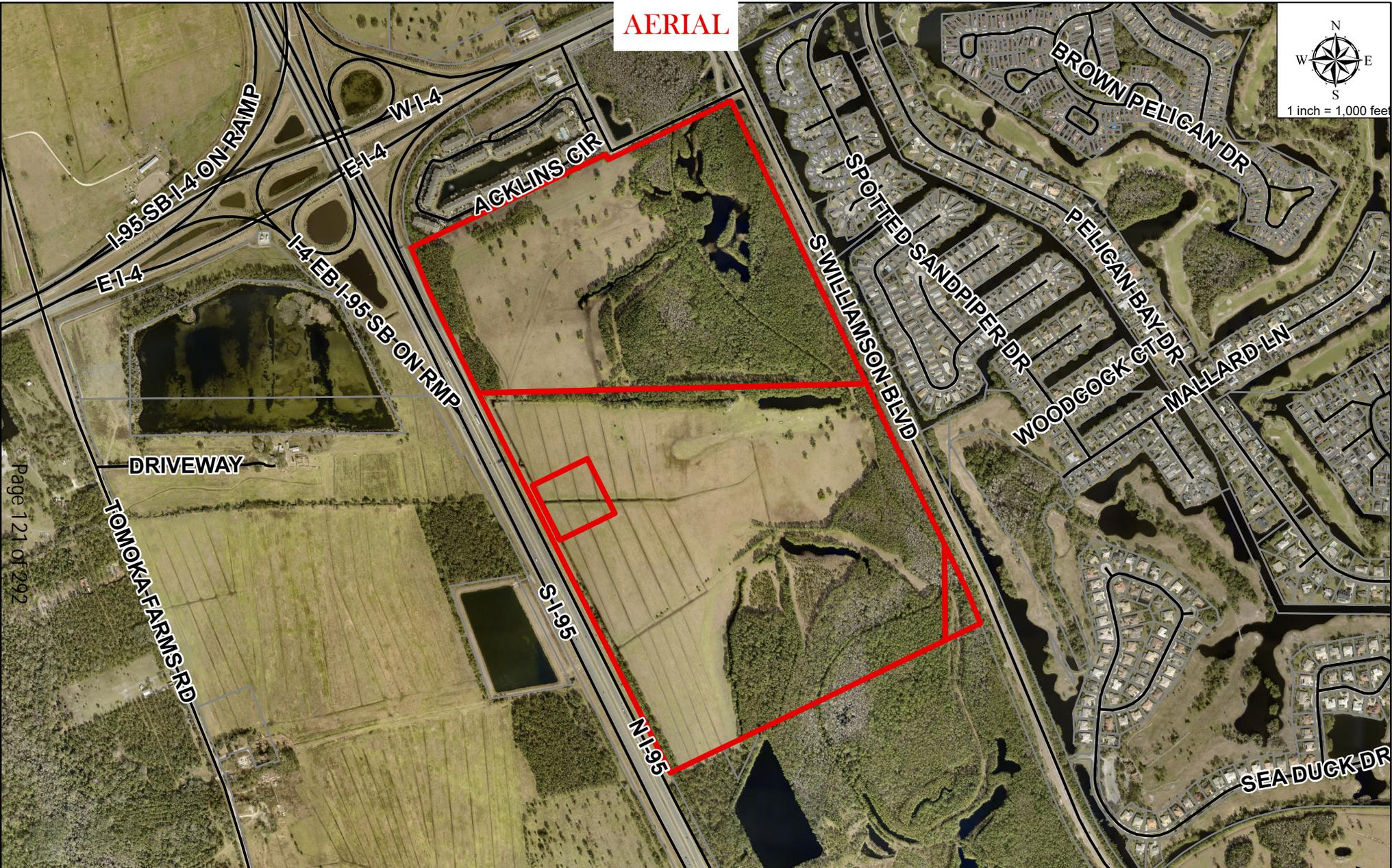
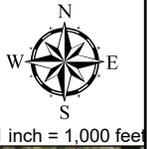


DEV2024-379 FLORIDA LOGISTICS LSCPA LOCATION MAP

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Agenda Item #4.B.

AERIAL



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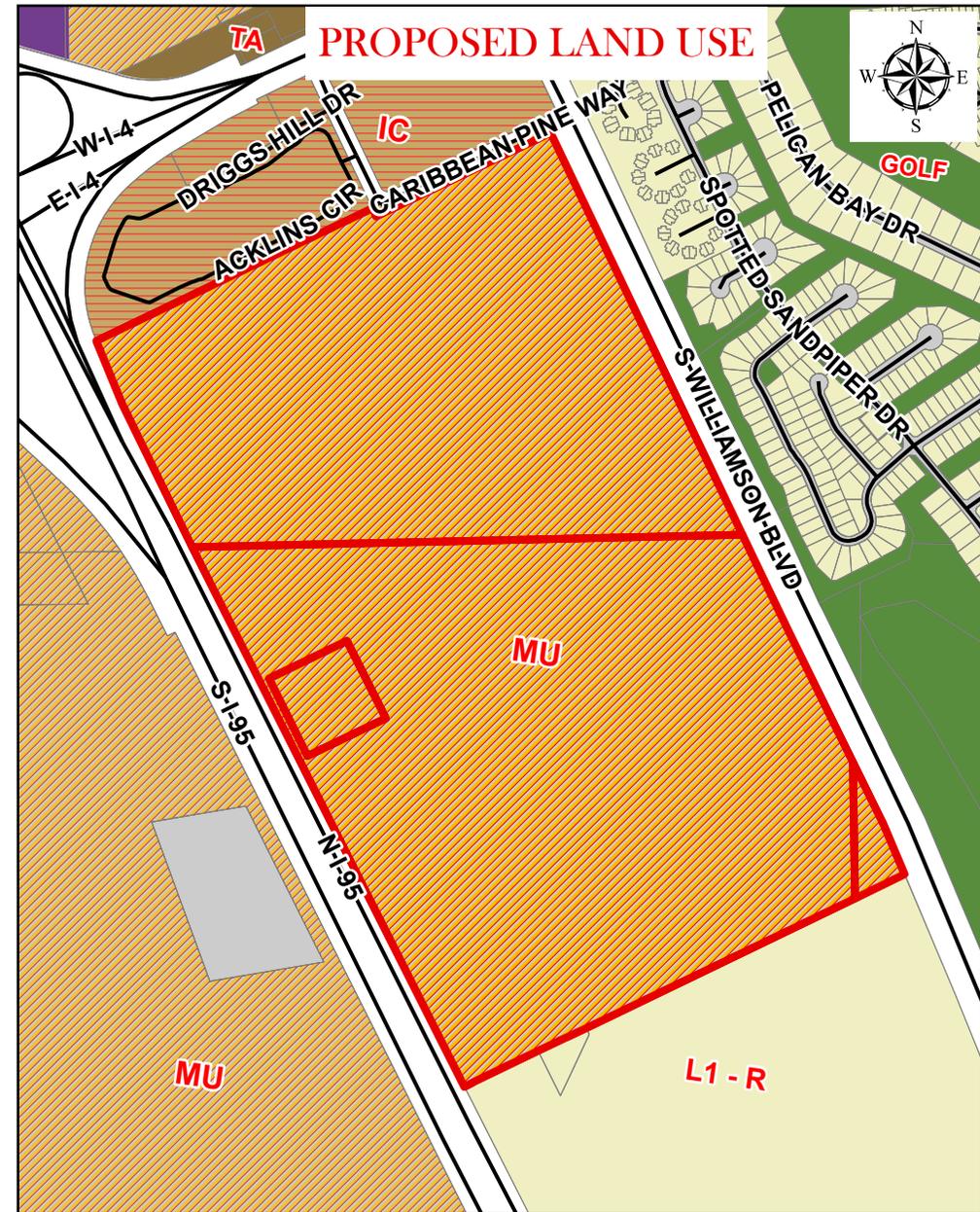
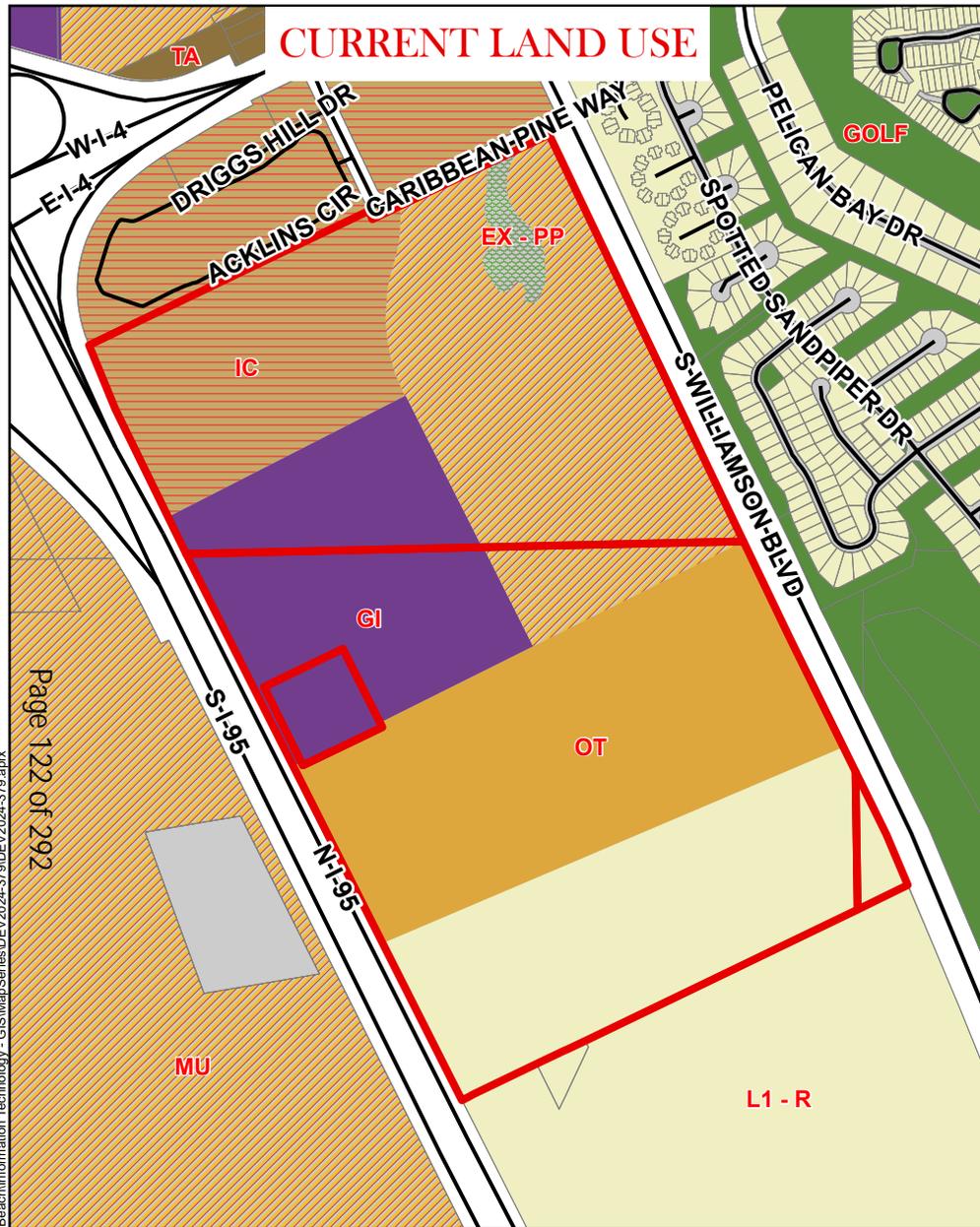
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DEV2024-379 FLORIDA LOGISTICS LSCPA AERIAL MAP

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Agenda Item #4.B.



1 inch = 1,000 feet

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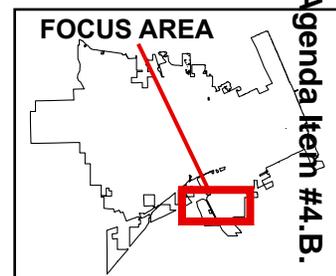
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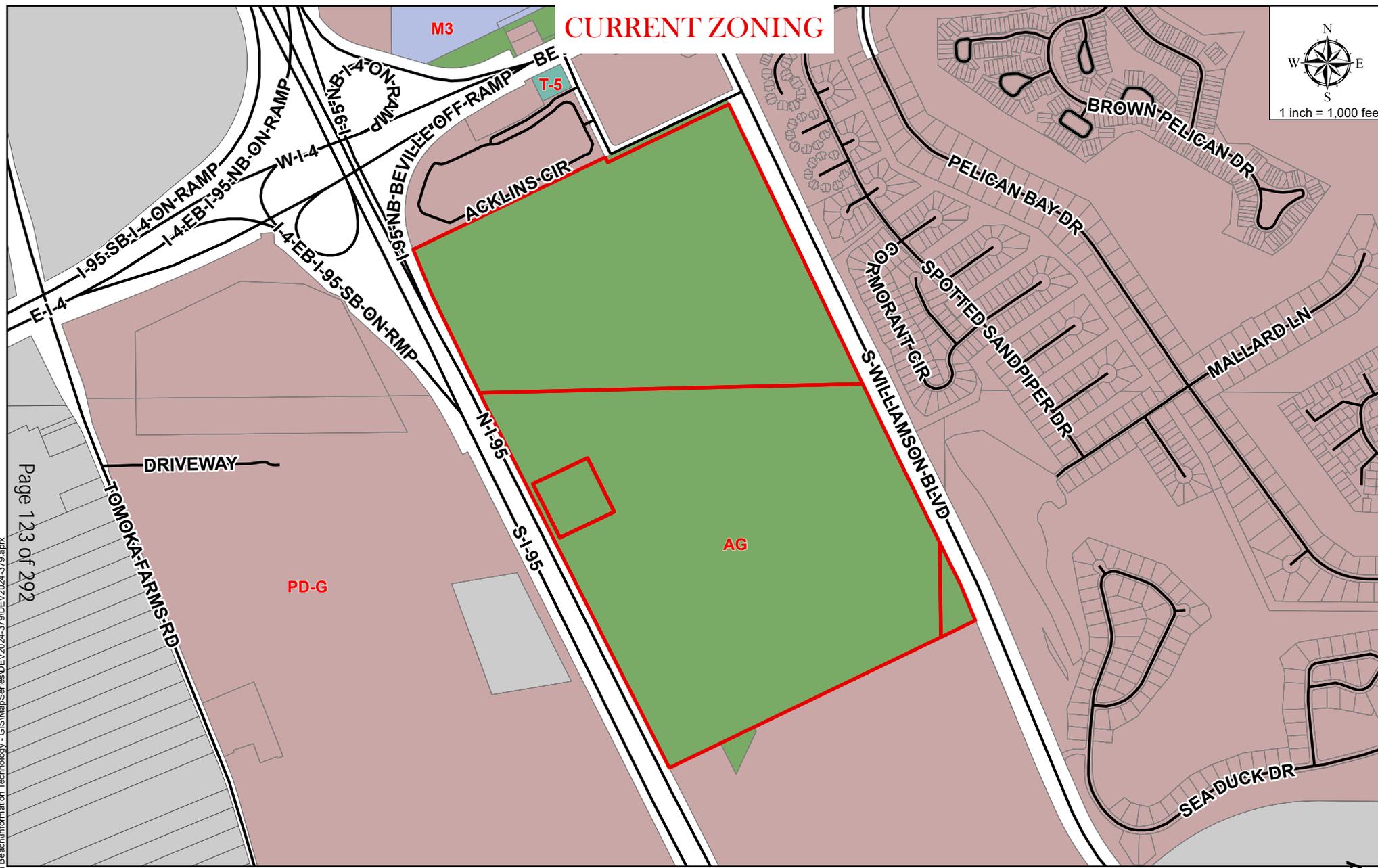
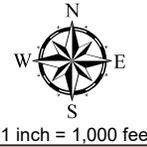


DEV2024-379 FLORIDA LOGISTICS LSCPA CURRENT AND PROPOSED LAND USE MAP

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CURRENT ZONING



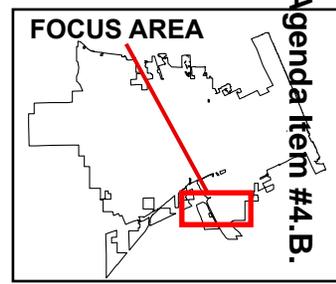
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DEV2024-379
FLORIDA LOGISTICS LSCPA
CURRENT ZONING MAP

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**FLORIDA LOGISTICS CENTER
DAYTONA BEACH
Large Scale Comprehensive Plan
Amendment**

1. APPLICANT INFORMATION

1.1 Applicant Name and Address

FL P40, LLC
259 Bill France Blvd
Daytona Beach, FL 32114

1.2 Primary Contact for Applicant

Matthew Cucolo
VeeCor Property Management
C/O Cobb Cole Law Firm
(386) 323-9226

1.3 Applicant's Authorized Representatives

Jessica Gow, Esquire
Cobb Cole
One Daytona Boulevard, Suite 600
Daytona Beach, FL 32114
Office: 386/323-9226
Fax: 386/785-1549
Jessica.Gow@CobbCole.com

Dwight M. Durant, P.E., President
Zev Cohen & Associates, Inc.
300 Interchange Blvd.
Ormond Beach, FL 32174
Office: 386/677-2482
Fax: 386/677-2505
ddurant@zevcohen.com

2. Property Information

2.1 Nature of Applicant's Interest

Applicant is the owner of the Property and intends to develop the property as mixed use development inclusive of commercial, industrial and retail opportunities, focused around the provision of industrial uses located in close proximity to the I-4/I-95 interchange. This Project will provide for greater industrial and commercial activation of a key transportation node with the community and allow for economic growth and development in an important community corridor.

2.2 Size of Property and Survey

The size of the Property is approximately 276.75 +/- acres. See the copy of the Survey attached as Exhibit "A".

2.3 Legal Description

See Legal Description included in Exhibit A and copies of Property Appraiser Information Card and Warranty Deeds attached as Exhibit "B".

2.4 Parcel Identification Number:

The Property consists of four (4) parcels. The parcel identification numbers are as follows: 523500000010; 620200000060; 620200000062; and 620100000015.

2.5 General Location

The Property is generally located in the City of Daytona Beach, generally south of Beville Road, between Interstate-95 and Williamson Boulevard. See Location Map attached as Exhibit "C".

2.6 Access + Frontage

Street access and vehicular circulation will be provided via public and/or private rights of way within the Property. The Property has legal access along Williamson Boulevard.

3. Land Use Information

3.1 Aerial Photography

See Exhibit "D", attached.

3.2 Existing Development

The Property is currently undeveloped vacant land.

3.3 Current Zoning

The current zoning designation is Agricultural. See Existing Zoning Map attached as Exhibit "E". Applicant submitted an application to re-zone the property to Planned Development – General (PD-G) concurrently with this application to allow for development of mixed uses on the Property, which is consistent with the City's Comprehensive Plan, as amended herein.

3.4 Future Land Use Map Designation

The current FLU designation is Interchange Commercial, Mixed Use, General Industrial, Office Transition, Level 1 Residential, and Existing Potential Parks. See Current Future Land Use Map attached as Exhibit "F."

3.5 Proposed Future Land Use Map Designation

The proposed FLU designation is "Mixed Use" See Proposed Future Land Use Map attached as Exhibit "G".

3.6 Proposed Neighborhood Policies

Proposed Neighborhood R Development Policy Revisions

(b) Issue: The large undeveloped area south of Beville Road, between I-95 and Williamson Boulevard, provides an opportunity for major development to service the interstate. This development must consider the need for preserving and protecting the existing Pelican Bay neighborhood.

(1) Policy: Properties in this corridor shall provide interconnectivity through a north-south connector roadway. Major internal streets located within the Walkers Green Development, including both the north-south collector road and east-west roads connecting this road to Williamson Boulevard, shall be subject to significant landscaping on adjacent lots, "parkway" design principles (meandering route, variable medians, and significant median and edge landscaping), low-monument signage (5 foot maximum overall height)-and interesting pavement treatments (such as brick pavers).

(2) Policy: Uses shall be designed and oriented to reduce visibility of service areas (loading, mechanical equipment) from major external and internal routes.

(3) Policy: Pedestrian linkages between adjoining uses shall be enhanced.

(4) Policy: Building architecture located within the Walkers Green Development (including scale, color, and style) shall be coordinated. Architectural styles would be similar to that demonstrated by the ICI-Gale development at the intersection of Beville Road and Williamson Boulevard (southeast quadrant). (Ordinance #09-278)

(5) Policy: Individual projects shall be coordinated through planned development zoning: subdivision platting shall be used to coordinate development of infrastructure, including the major internal road network. Access to individual properties shall be coordinated – not every parcel will be permitted direct access to the major internal road network. (Ordinance #09-278)

(6) Policy: Uses in the interchange commercial area shall be limited to retail uses associated with the traveling public, as well as hotels, motels, restaurants, and other uses directly related to the needs of travelers. Truck stops shall be prohibited. Large retail establishments oriented to local consumers shall also be prohibited. Within this interchange area there shall be a sub-area extending south of a line lying 800± feet south of, and parallel to, the southerly line of the Beville Road right-of-way in which retail uses shall be restricted to a FAR of 0.25 and office uses shall be restricted to a FAR of 0.50. (think this is our site)

~~(7) Policy: Billboards on the property shall be removed at the time of development approval.~~

(8) Policy: Uses shall be limited to the scale and intensity, which can be supported by the internal road systems, as well as by the capacity of intersections with the major road. This must be demonstrated before zoning changes or development orders can be approved.

Proposed New Neighborhood R Development Policy

(g) Issue: The Florida Logistics Center Planned District is located in an appropriate location for mixed use development.

(1) Policy: For the 276.5 +/- acre property known as the “Florida Logistics Center Planned District” and subject to DEV2024-378, nonresidential development, including office/office support and light industrial uses, shall be limited to 6,000,000 square feet, and potential retail uses shall be limited to 100,000 square feet. Residential density shall be limited to 1,500 residential units. Overall development within the site shall not exceed the generation of 3,000 external P.M. peak hour vehicle trips.

4. Consistency and Compatibility

4.1 Consistency with Plan Goals, Policies and Objectives of the Daytona Beach Comprehensive Plan

The proposed amendment is consistent with several of the Goals, Policies and Objectives of the Comprehensive Plan, as outlined below. This amendment will allow development of the property to allow for additional mixed uses within a growing sector of the City. In addition to these factors, the amendment is also consistent with the following provisions of the Daytona Beach Comprehensive Plan:

Future Land Use Element

Goal 1: To achieve a future land use pattern that provides for sufficient supply of land to meet growth demands, ensures that land uses are located in a rational and efficient manner, and promotes economic development.

Response: The proposed development will provide commercial and industrial opportunities to support the existing and planned residential and commercial developments within the area, while also providing an additional employment base within the City. The project will be focused around the provision of industrial uses located in close proximity to the I-4/I-95 interchange, which allows for a direct connection to the State’s commercial transportation network.

Objective 1.2.1: The Land Development Code shall be maintained in a manner that will cause future major traffic generators to be located in close proximity to thoroughfares, which have the capacity to carry the additional traffic generated by such developments. All future rezoning shall be consistent with this policy.

Response: The proposed development will provide mixed uses, focused around a proposed industrial use, in close proximity to an interchange of two interstate roadway systems within our

community. The interchange allows for the convenient transportation of goods and allocation of services.

Objective 1.3 Commercial Land: The City’s supply of commercial land shall be sufficient to accommodate both local demand and the demand for regional facilities, since the City of Daytona Beach is the central city in Halifax metropolitan area.

Response: The proposed development will provide additional industrial and commercial use opportunities that will support both local and regional demands. The property is currently allocated for a variety of use types, and the proposed change will allow for the orderly master development of the Property.

Policy 1.4.1 The City shall provide industrially zoned vacant land available with full urban services in greater amounts than previous markets have absorbed.

Response: The proposed industrial development is surrounded by comprehensive urban services that are existing and in place to support the proposed industrial operations and attract potential businesses.

4.2 Consistency with the Urban Sprawl Rule

Section 163.3177(6)(a)(9)(b), Florida Statutes, provides that plan amendments shall be determined to discourage the proliferation of urban sprawl if they incorporate a development pattern or urban form that achieves four or more of the following:

- (I) Directs or locates economic growth and associated land development to geographic areas of the community in a manner that does not have an adverse impact on and protects natural resources and ecosystems.

Response: The project is adjacent to residential properties and if residential uses are developed, will cluster residential uses in a rational manner while providing commercial and light industrial uses that support job creation for residents. The proposed industrial and commercial uses are located in close proximity to major roadways and an interchange, located uses in the correct locations to support economic growth and development.

- (II) Promotes the efficient and cost-effective provision or extension of public infrastructure and services.

Response: Public infrastructure is in place to provide support to the proposed development, as outlined in Section 5 of this document.

- (III) Promotes walkable and connected communities and provides for compact development and a mix of uses at densities and intensities that will support a range of housing choices and a multimodal transportation system, including pedestrian, bicycle, and transit, if available.

Response: The mixed use nature of the proposed development will allow for a mix of uses that will complement one another and allow for interconnectivity between different use types.

(IV) Promotes conservation of water and energy.

Response: The project will be designed to current building standards to ensure proper conservation of water and energy.

(V) Preserves agricultural areas and activities, including silviculture, and dormant, unique, and prime farmlands and soils.

Response: N/A

(VI) Preserves open space and natural lands and provides for public open space and recreation needs.

Response: Open space will be provided within the proposed development.

(VII) Creates a balance of land uses based upon demands of the residential population for the nonresidential needs of an area.

Response: This project will help provide a range of mixed uses within the area to complement the continued growth in this sector of the City. Further, this project will provide additional housing with close proximity to major thoroughfares as more individuals find themselves located near mixed-use developments in the area.

(VIII) Provides uses, densities, and intensities of use and urban form that would remediate an existing or planned development pattern in the vicinity that constitutes sprawl or if it provides for an innovative development pattern such as transit-oriented developments or new towns as defined in s. 163.3164.

Response: N/A

The proposed amendment promotes a development pattern and urban form that achieves six of the preceding eight general policies. Accordingly, the proposed amendment exceeds the urban sprawl standards set forth in Section 163.3177(6)(a)(9)(b), Florida Statutes.

4.3 Land Use Compatibility Analysis

The proposed amendment seeks to amend a 276.75 +/- acre portion of the Daytona Beach FLU Map to the Mixed Use FLU provided for in the Comprehensive Plan. The proposed amendment will not negatively alter the character that exists in the area at the present time. The amendment is intended to allow for improved planning and coordination for development of the Property.

The uses contemplated by this amendment and permitted through the future rezoning of the Property are consistent with the existing development in the vicinity of the Property. As further detailed in Section 5 below, the proposed amendment allows the development of the Property in a manner consistent with the Comprehensive Plan. For an overview of the FLU consistency, please refer to the existing and proposed FLU maps attached as Exhibits "F" and "G", respectively.

5. Concurrency Analysis

5.1 Traffic Data and Analysis

Please see the attached “Exhibit H” traffic memorandum, prepared by Lassiter Transportation Group.

5.2 Sanitary Sewer Data and Analysis

5.2.1 Sewer Facilities

The City of Daytona Beach Waste Water Treatment Plant that will accommodate the waste from this project is located at 3651 LPGA Boulevard. This plant has a capacity of 15 MGD. The current maximum monthly average annual daily flow is 11.5 MGD with 2.57 MGD of outstanding flow commitments.

5.2.2 Sanitary Sewer Demand from the Current FLUM Designation

The current sanitary sewer demand is calculated as follows using the Florida Administrative Code, Chapter 64E-6.008 and the City of Daytona Beach recommended standards:

Table 5.2.2 - Current FLUM Sanitary Sewer Demand

Type of Unit	Area	Building Area/Number of Seat	Per Capita Flow	Total Average Daily Flow	Peak hour flow Peak=3
General Industrial	49 acres	990 employees	15 GPD/EMPLOYEE	14,850 GPD	44,550 GPD
Interchange Commercial	37 acres	396,832 sf	.10 GPD/SF	39,683 GPD	119,049 GPD
Level 1 Residential	53 acres	423 Units	300 GPD/UNIT	127,032 GPD	381,096 GPD
Mixed Use	64.5 acres	8,419,712 sf	.10 GPD/SF	841,971 GPD	2,525,914 GPD
Potential Public Park	3.5 acres	.00 sf	300.00 GPD/SF	GPD	GPD
Office Transition	69.5 acres	9,070,499 sf	.15 GPD/SF	1,360,575 GPD	4,081,724 GPD
Totals		N/A	N/A	2,384,111GPD	7,152,334GPD

	276.5 acres			
--	----------------	--	--	--

1. Flow estimates per Florida Administrative Code 64E-6.008
2. This scenario was considered in order to maximize the property and demand that the current FLUM will allow.

5.2.3 Sanitary Sewer Demand from the Proposed FLUM Designation

Table 5.2.3 - Proposed FLUM Sanitary Sewer Demand

Type of Unit	Building Area/Number of Seat	Per Capita Flow	Total Average Daily Flow	Peak hour flow Peak=3
General Office	250,000 sf	.15 GPD/SF	37,500 GPD	112,500 GPD
Industrial Park	4,800 employees	15 GPD/EMPLOYEE	72,000 GPD	216,000 GPD
Totals	N/A	N/A	109,500GPD	328,500GPD

1. Flow estimates per Florida Administrative Code 64E-6.008
2. This scenario was considered in order to maximize the property and demand that the current FLUM will allow.

5.2.4 Change in Sanitary Sewer Usage

The proposed FLUM decreases the possible peak sewer requirements of the site by approximately 6.82 MGD.

5.2.5 Impacts on LOS

In conclusion, there will be no significant impact to the current level of service considering that the anticipated flow is decreased.

5.3 Potable Water Data and Analysis

5.3.1 Potable Water Facilities

The City of Daytona Beach’s Water Treatment Plant is located at 3651 LPGA Boulevard. The capacity of the plant is 24 MGD. The current maximum monthly average daily flow is 14.6 MGD with 2.29MGD of outstanding flow commitments.

5.3.2 Potable Water Demand from the Current FLUM Designation

The current potable water demand is calculated as follows utilizing the Florida Administrative Code 64E-6.008 (Standard Engineering Practice utilizes sewer flows to represent estimated water demands) and the City of Daytona Beach recommended standards.

Table 5.3.2 - Current FLUM Potable Water Demand

Type of Unit	Area	Building Area/Number of Seat	Per Capita Flow	Total Average Daily Flow	Peak hour flow Peak=3
General Industrial	49 acres	990 employees	15 GPD/EMPLOYEE	14,850 GPD	44,550 GPD
Interchange Commercial	37 acres	396,832 sf	.10 GPD/SF	39,683 GPD	119,049 GPD
Level 1 Residential	53 acres	423 Units	300 GPD/UNIT	127,032 GPD	381,096 GPD
Mixed Use	64.5 acres	8,419,712 sf	.10 GPD/SF	841,971 GPD	2,525,914 GPD
Potential Public Park	3.5 acres	.00 sf	300.00 GPD/SF	GPD	GPD
Office Transition	69.5 acres	9,070,499 sf	.15 GPD/SF	1,360,575 GPD	4,081,724 GPD
Totals	276.5 acres	N/A	N/A	2,384,111GPD	7,152,334GPD

1. Flow estimates per Florida Administrative Code 64E-6.008
2. This scenario was considered in order to maximize the property and demand that the current FLUM will allow.

5.3.3 Potable Water Demand from the Proposed FLUM Designation

Table 5.3.3A - Proposed FLUM Potable Water Demand

Type of Unit	Building Area/Number of Seat	Per Capita Flow	Total Average Daily Flow	Peak hour flow Peak=3
General Office	250,000 sf	.15 GPD/SF	37,500 GPD	112,500 GPD
Industrial Park	4,800 employees	15 GPD/EMPLOYEE	72,000 GPD	216,000 GPD
Totals	N/A	N/A	109,500GPD	328,500GPD

1. Flow estimates per Florida Administrative Code 64E-6.008

2. This scenario was considered in order to maximize the property and demand that the current FLUM will allow.

5.3.4 Change in Potable Water Usage

The proposed FLUM decreases the possible peak potable requirements of the site by approximately 6.82 MGD.

5.3.5 Impacts on LOS

In conclusion, there will be no significant impact to the current level of service considering that the anticipated flow is decreased.

5.4 Stormwater Data and Analysis

The property is currently a pasture with wetlands and a few trees scattered throughout. The property abuts woods and wetlands on the south side and an apartment complex on the north side. The surface drainage is generally flat, with the drainage eventually ending up in the adjacent wetlands. These Wetlands will eventually flow to the B-19 canal and the Tomoka River. Once entering the B-19 canal, it flows to the ultimate outfall, the Spruce Creek River.

Existing drainage patterns will be maintained and all calculations will comply with the current rules specified by the St. Johns River Water Management District and the City of Daytona Beach. The project will attenuate and treat the storm water for the mean annual and 25-year/24-hour rain event and be developed in accordance with Local, State, and Federal rules and regulations.

5.5 Solid Waste Data and Analysis

The nearest solid waste landfill is Volusia County's Tomoka Farms Road Landfill. It will not reach capacity until the year 2052. The proposed FLU designation and development will not adversely affect the capacity of the landfill

5.6 Wellfield Protection Zones

The subject site is not located within a wellfield protection zone

5.7 Reclaimed Water

The subject site is serviced by a reclaimed water line located along Williamson Boulevard, if extended, or will obtain a connection along Beville Road.

6. Environmental Analysis

Please see the attached Environmental Assessment relating to environmental data for the site, prepared by Zev Cohen and Associates.

7. Conclusion

The proposed amendment is consistent with the City of Daytona Comprehensive Plan as detailed herein. The amendment will permit the efficient integration of planning and management of the Property. The proposed amendment will ensure that the subsequent rezoning of the Property will not include any inconsistent uses with those currently anticipated throughout this area. The amendment will allow for mixed use development in an appropriate location where it will be properly buffered and compatible with surrounding uses.

EXHIBIT H

TRAFFIC MEMORANDUM

Via email: jfox@alcamocap.com; sshah@alcamocap.com

Ref: 6020.01

TECHNICAL MEMORANDUM

To: Johnathan Fox and Shesh Shah, FL P40, LLC
From: Matthew West, AICP
Subject: Florida Logistics Center - Comprehensive Plan Amendment (CPA)
 Port Orange, FL
Date: October 16, 2024

INTRODUCTION

LTG, Inc. (LTG) has been retained by FL P40, LLC (the CLIENT) to conduct traffic engineering and transportation planning services on behalf of the proposed future land use change for the 276-acre Florida Logistics Center Mixed Use Development. The proposed future land use Comprehensive Plan Amendment (CPA) will change the future land use designation for the property currently consisting of Interchange Commercial (36.44 acres), Existing Potential Park (3.33 acres), Mixed Use (64.43 acres), General Industrial (48.38 acres), Office Transitional (69.41 acres), and Level-1 Residential (52.93 acres) to entirely Mixed Use. The subject property is located east of I-95, west of Williamson Boulevard and south of Beville Road in the City of Daytona Beach in Volusia County, Florida. **Figure 1** shows a map of the project site a breakdown of the land uses.

The methodology and procedures used in this analysis are consistent with the guidelines for the CITY and the River to Sea Transportation Planning Organization (R2CTPO). Please note that the development scenarios are based on the existing FLU and a capped development potential agreed to by the CLIENT. A site development specific traffic impact analysis (TIA) will be conducted and submitted at the time of concurrency review for a specific site plan approval.

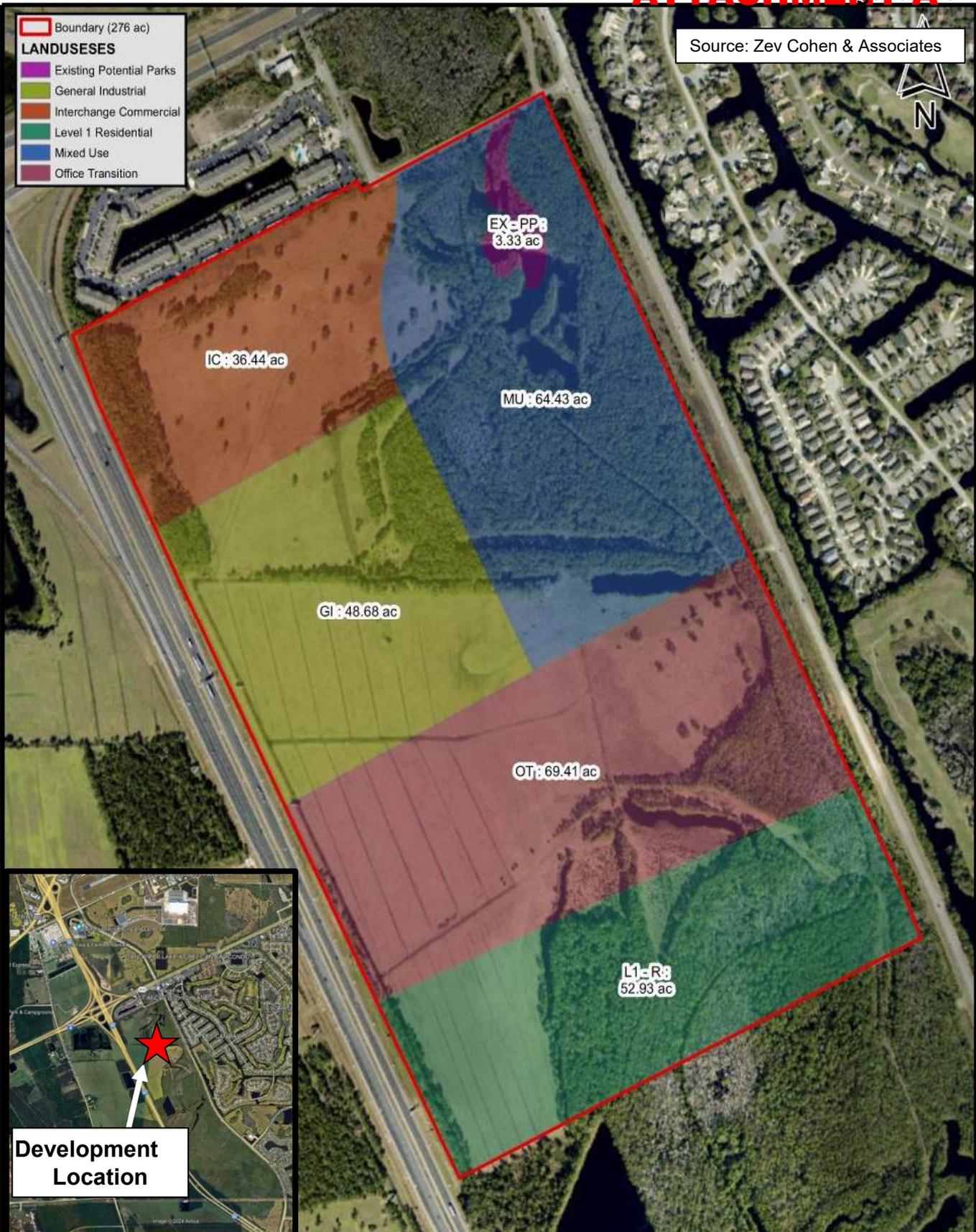
TRIP GENERATION FOR THE EXISTING, PROPOSED FLU DESIGNATION, AND PROPOSED ZONING

The trip generation was determined using the Institute of Transportation Engineers (ITE) document, Trip Generation Manual, 11th Edition. The total daily, AM, and PM peak hour trips for the existing and proposed FLU designations are shown in **Tables 2 and 4**, respectively.

First, the existing General Industrial, Interchange Commercial, Level-1 Residential, Mixed Used, Potential Public Park, and Office Transition designations were examined. Please note, the Interchange Commercial land use is limited by a neighborhood policy that limits office land uses to a floor area ratio (FAR) of 0.5 and retail land uses to 0.25 FAR. **Table 1** demonstrates the allowable densities and maximum allowable square footage for each of the existing land uses.

Table 1
Existing FLU Program
Florida Logistical Center – CPA

Land Use	Acreage	Density		Permitted	
General Industrial	48.68	0.7	FAR	1,484,351	SF
Interchange Commercial	36.44	0.25	FAR	396,832	SF
Level 1 Residential	52.93	8	DU/AC	423	DU
Mixed Use	64.43	3.0	FAR	8,419,712	SF
Potential Public Park	3.33	NA	NA	3.3	AC
Office Transition	69.41	3.0	FAR	9,070,499	SF



- Boundary (276 ac)
- LAND USES**
- Existing Potential Parks
- General Industrial
- Interchange Commercial
- Level 1 Residential
- Mixed Use
- Office Transition

Source: Zev Cohen & Associates



Development Location

Florida
Logistics
Center



Location Map

Project No.: 6020.01 Figure 1



Single Family Detached (ITE LUC code 210), Industrial Park (ITE LUC code 130), Shopping Center (ITE LUC code 820), Public Park (ITE LUC 411), and General Office Building (ITE LUC code 710) were utilized as the highest trip-generating uses for the existing FLU. As indicated in **Table 2**, the existing FLU would generate 393,779 daily, 17,083 AM peak hour, and 37,866 PM peak hour trips.

**Table 2
 Existing FLU Total Gross Trip Generation
 Florida Logistics Center – CPA**

Time Period	FLU	Land Use	LUC	Trip Rate Equation	Size	Units	Percent Entering	Percent Exiting	Trips Entering	Trips Exiting	Total Trips
Daily	General Industrial	Industrial Park	130	$T=3.37(X)$	1484.35	KSF	50%	50%	2,501	2,501	5,002
	Interchange Commercial	Shopping Center	820	$T=37.01(X)$	396.83	KSF	50%	50%	7,344	7,344	14,687
	Level 1 Residential	Single-Family Detached Housing	210	$\ln(T)=0.92\ln(X)+2.68$	423.44	DU	50%	50%	1,903	1,904	3,807
	Mixed Use	Shopping Center	820	$T=37.01(X)$	8419.71	KSF	50%	50%	155,807	155,807	311,614
	Potential Public Park	Public Park	411	$T=0.64(X)+88.46$	3.30	Acres	50%	50%	46	46	91
	Office Transition	General Office Building	710	$\ln(T)=0.87\ln(X)+3.05$	9070.50	KSF	50%	50%	29,289	29,290	58,578
Totals:									196,890	196,892	393,779
AM Peak-Hour	General Industrial	Industrial Park	130	$T=0.89(X)$	1484.35	KSF	81%	19%	1,070	251	1,321
	Interchange Commercial	Shopping Center	820	$T=0.84(X)$	396.83	KSF	62%	38%	206	127	333
	Level 1 Residential	Single-Family Detached Housing	210	$\ln(T)=0.91\ln(X)+0.12$	423.44	DU	25%	75%	69	208	277
	Mixed Use	Shopping Center	820	$T=0.84(X)$	8419.71	KSF	62%	38%	4,385	2,688	7,073
	Potential Public Park	Public Park	411	$T=0.02(X)$	3.30	Acres	59%	41%	0	0	0
	Office Transition	General Office Building	710	$\ln(T)=0.86\ln(X)+1.16$	9070.50	KSF	88%	12%	7,109	970	8,079
Totals:									12,839	4,244	17,083
PM Peak-Hour	General Industrial	Industrial Park	130	$T=0.34(X)$	1484.35	KSF	22%	78%	111	394	505
	Interchange Commercial	Shopping Center	820	$T=3.40(X)$	396.83	KSF	48%	52%	648	702	1,349
	Level 1 Residential	Single-Family Detached Housing	210	$\ln(T)=0.94\ln(X)+0.27$	423.44	DU	63%	37%	243	143	386
	Mixed Use	Shopping Center	820	$T=3.40(X)$	8419.71	KSF	48%	52%	13,741	14,887	28,627
	Potential Public Park	Public Park	411	$T=0.11(X)$	3.30	Acres	55%	45%	0	0	0
	Office Transition	General Office Building	710	$\ln(T)=0.83\ln(X)+1.29$	9070.50	KSF	17%	83%	1,190	5,810	7,000
Totals:									15,933	21,936	37,866

Next, the maximum development potential of the proposed Mixed Use FLU designation was examined. The applicant is voluntarily capping the development program at 3,000 p.m. peak-hour project trips.

Finally, the existing zoning designation was examined for the property. Currently, the property has Agricultural zoning (AG). Based on the City’s description of AG zoning, “the purpose of the Agricultural district is to accommodate the current use of land in the City for agricultural activities (farming, Silviculture, plant nurseries, greenhouse operations, feeding stations) and conservation uses (parks, game preserves, historic sites). It may also be used as a holding zone for lands that may be suitable for urban development in the future.” The maximum allowable density for AG is 1 dwelling per 5 acres, permitting a maximum of 55 dwelling units. Single Family Detached Housing (ITE LUC 210) was utilized as the highest trip-generating use. As indicated in **Table 3**, the proposed maximum buildout development program permitted by the existing zoning would generate 582 daily, 43 AM peak hour, and 57 PM peak hour trips.

Table 3
Existing Zoning Trip Generation
Florida Logistics Center – CPA

Time Period	Zoning	Land Use	LUC	Trip Rate Equation	Size	Units	Percent Entering	Percent Exiting	Trips Entering	Trips Exiting	Total Trips
Daily	Agricultural	Single-Family Detached Housing	210	$\ln(T)=0.92\ln(X)+2.68$	55.00	DU	50%	50%	291	292	582
AM Peak-Hour				$\ln(T)=0.91\ln(X)+0.12$	55.00	DU	25%	75%	11	33	43
PM Peak-Hour				$\ln(T)=0.94\ln(X)+0.27$	55.00	DU	63%	37%	36	21	57

TRIP GENERATION COMPARISONS

The trip difference between the existing Future Land Uses currently assigned to the site and proposed Mixed Use designation, and the existing zoning designation is shown in **Table 4**.

Table 4
Difference in Trip Generation
Florida Logistics Center – CPA

Time Period	Existing FLU	Existing Zoning	Proposed FLU/Zoning
Daily	393,779	582	-
PM Peak Hour	37,866	57	3,000

CONCLUSION

The study was conducted to evaluate the potential impact the proposed CPA would have on area roadways. When evaluating the difference between the existing City FLU, the proposed City FLU, and the zoning potential maximum development scenarios, it should be noted that the requested FLU is far below the potential trip generation of the existing City FLU assigned to the property. The trip generation of the existing City zoning is shown for informational purposes only.

I affirm, by affixing my signature below, that the findings contained herein are, to my knowledge, accurate and truthful and were developed using current procedures standard to the practice of professional planning.

Name: Matthew West

Signature: _____

Date: October 16, 2024

Cc: Jessica Gow, Cobb Cole (jgow@cobbcole.com)
 Kirsten Fawcett, LTG, Inc. (kfawcett@ltg-inc.us)



EXHIBIT I

ENVIRONMENTAL ANALYSIS



300 Interchange Blvd., Suite C
Ormond Beach, FL 32174
386-677-2482 • Fax: 386-677-2505
www.ZevCohen.com

Environmental Assessment

For

FPL Lot 40

ZC 21034

April 4, 2024
Revised May 15, 2024
Revised April 30, 2025

Prepared For:

FL P40, LLC
Alcamo Capital, LLC
259 Bill France Boulevard
Daytona Beach, FL 32114

Prepared By:

Zev Cohen & Associates
300 Interchange Blvd., Suite C
Ormond Beach, FL 32174
(386) 677-2482

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Revised May 15, 2024; April 20, 2025

1.0 PROJECT INFORMATION

The proposed FL P40 project site is approximately 276.5 acres and located at the southeast corner of Interstate-95 and Beville Road in Daytona Beach, Florida (**Aerial Map**). This project is bordered by South Williamson Boulevard to the east, I-95 to the west, undeveloped forests to the south, and Beville Road to the north. The project site is located in Section 2 and 35, Township 16 and 15 South, Range 32 East in the City of Daytona Beach, Volusia County, Florida (**Location Map**). The latitude and longitude coordinates for the approximate center of the project are 29° 8' 57.73"N, 81° 4' 1.29"W (**Quadrangle Map**).

The applicant for the project is:

Jonathan Fox
c/o FL P40
Alcamo Capital, LLC
259 Bill France Boulevard
Daytona Beach, FL 32114

The biologist for this project is:

Mallory Tatum
Zev Cohen and Associates, Inc.
300 Interchange Boulevard, Suite C
Ormond Beach, FL 32174
(386) 677-2482

The FL P40 proposed project site is located between Williamson Boulevard and I-95 N, south of Andros Isles Apartments. The proposed project area consists of forested and non-forested uplands and a variety of wetland systems including improved pastures, cypress dominated wetlands, and pine flatwoods wetlands. The proposed project will be developed as an industrial warehouse facility with associated infrastructure including roadways, parking areas, utilities, floodplain compensating storage areas, and stormwater management systems.

Zev Cohen & Associates, Inc. (ZCA) Environmental Department staff conducted an Environmental Assessment (EA) of the subject property over multiple site visits. The EA included a site review to determine habitat types present on site, identify wetland and surface waters, and documented the potential of occurrence of federal and state protected species. This EA report discusses survey methodology, results, and supplementary materials.

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2.0 Soils

A review of the soil types present was conducted to characterize the existing conditions on the proposed property. The soil review used soil surveys conducted by the United States Department of Agriculture (USDA) and Natural Resources Conservation Services (NRCS). Data are presented in accordance to Official Soil Series Descriptions (**Soils Map**).

0 – Open Water: Several open surface waters occur onsite that are currently used for agricultural operations or borrow pits.

20 – Eau Gallie Fine Sand: This nearly level, poorly drained soil is found in broad flatwoods. The surface is 9 inches thick with the upper 4 inches is black fine sand, and the lower 5 inches is very dark gray fine sand. The subsurface layer is gray fine sand about 12 inches thick. The water table fluctuates within 10 inches of the surface for periods of 1 to 4 months in most years and is within 40 inches for more than 6 months. The available water capacity is low with slow runoff and rapid permeability in the surface to moderately rapid in the subsoil.

49 – Pomona fine sand: A majority of the site contains this poorly drained, nearly level soil occurs in low, broad areas within the flatwoods. The water table is within a depth of 10 inches for 1 to 3 months and within 40 inches for about 6 months during most years. The available water capacity is medium, permeability is rapid to about 18 inches, moderate from 18 to 33 inches, rapid from 33 to 50 inches, and moderate from 50 to 60 inches. Drainage is slow, but if artificial drainage is provided it is generally good.

50 – Pomona Fine Sand, depressional: This poorly drained, nearly level soil occurs in depressions, in poorly defined sloughs, and on broad low flats within the flatwoods. Typically, the surface layer is black fine sand about 7 inches thick with a subsurface layer of gray fine sand about 7 inches thick. The water table fluctuates from 6 inches above the soil surface to within a depth of 10 inches for 4 to 8 months during most years. After the driest season, usually late spring, the water table may briefly fall to a depth of 40 inches. The available water capacity is medium with rapid permeability except in the weakly cemented sandy loam subsoil where it is moderate. Internal drainage is impeded by the high water table.

51 – Pomona-St Johns Complex: This soil consists of nearly level, poorly drained Pomona and St. Johns soils that are covered with standing water for long periods. These soils occur in drainageways and broad depressions in flatwoods. The St. Johns soil is mostly in slightly lower positions surrounded by the Pomona soil. The Pomona soil makes up about 60% of each area with a surface layer of black fine sand 5 inches thick and dark gray sand 8 inches thick. The

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Pomona soil has a high water table that rises as much as 10 inches above the soil surface in wet periods. The soil is almost always saturated within 10 inches of the surface in summer, fall, and winter. The available water capacity is medium with rapid permeability. The St Johns soil makes up 30% of each area with a surface layer 7 inches thick of black fine sand and 3 inches thick of very dark gray sand. The St. Johns high water table is similar to the Pomona soil in that it can rise as much as 10 inches above the surface and is always saturated within 10 inches in summer, fall, and winter.

53 – Pomona-Placid Complex: This soil contains nearly level, poorly drained Pompano soils and very poorly drained Placid soils in depressions in the flatwoods. The Pompano soil is slightly higher and surrounds the Placid soils. The Pompano fine sand makes up 55% of each area and has a surface layer of dark gray fine sand about 7 inches thick. The Pompano soil has a high water table less than 6 inches above the soil surface or is saturated within 10 inches of the surface in summer and fall. Frequently, this soil is covered with standing water during the wet seasons. The permeability is very rapid with very low water capacity. The Placid fine sand makes up 25% of each area and has a surface layer 11 inches thick of black fine sand and 4 inches thick of very dark gray fine sand. The Placid soil is similar to the Pompano fine sand in that the water table is less than inches above the surface or saturated within 10 inches of the surface during summer, fall, and winter. It is also frequently covered by standing water in the wet seasons. It has rapid permeability with high water capacity in the upper 20 inches and low below.

60 – Smyrna Fine Sand: This poorly drained, nearly level sandy soil occurs in broad areas in flatwoods, low-lying areas adjacent to depressions, and low areas within sandhills. Typically, the surface layer is black or very dark gray fine sand about 4 inches thick with a subsurface about 13 inches thick of gray fine sand. In most years the water table is within 10 inches of the surface for 1 to 4 months and between 10 and 40 inches for more than 6 months. In rainy seasons, it rises to the surface for brief periods. Most areas are affected by artificial drainage. Permeability is moderate to moderately-rapid in the subsoil and rapid in others.

3.0 VEGETATIVE COMMUNITY AND LAND USE DESCRIPTIONS

The subject property consists of a variety of forested and non-forested uplands and wetlands (**Habitat Map**). The land use for the subject property was classified in accordance with the Florida Department of Transportation (FDOT) (1999) *Florida Land Use, Cover and Forms Classification System* (FLUCCS). The communities, land use and soil types observed on the subject property are described in detail below.

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211 – Improved Pastures (129.04 ac) – a majority of the western half of the property is active pasture with livestock. The habitat has an open canopy with very scattered slash pine (*Pinus elliottii*) and a groundcover dominated by broomsedge (*Andropogon virginicus*) and Bahia grass (*Paspalum notatum*)

213 – Woodland Pasture (1.87 ac) – This habitat is interspersed among the active improved pasture with livestock and has a canopy dominated by slash pine with a scattered understory of saw palmetto (*Serenoa repens*). The groundcover is dominated by Bahia grass.

411 – Pine Flatwoods (62.91 ac) – Open upland forested habitat characterized by a dominant canopy of slash pine, with cabbage palm (*Sabal palmetto*), Southern red cedar (*Juniperus virginiana*), and Southern Magnolia (*Magnolia grandiflora*). The sub-canopy and shrub layers are fairly open and consist of southern red cedar, live oak (*Quercus virginiana*), southern magnolia, water oak (*Quercus nigra*), laurel oak (*Quercus laurifolia*), and yaupon holly (*Ilex vomitoria*). The groundcover consists of dense saw palmetto, with gallberry (*Ilex glabra*), American beauty berry (*Callicarpa americana*), thistle (*Cirsium spp.*), Caesar weed (*Urena lobata*), ragweed (*Ambrosia artemisiifolia*), yaupon holly, bracken fern (*Pteridium aquilinum*), dogfennel (*Eupatorium capillifolium*), and milkweed (*Asclepias curvassavica*).

510 – Streams and Waterways (8.96 ac) – These are ditches and swales that connect throughout the pastures and flow south offsite. These contain sparse areas of soft rush (*Juncus effusus*), Mermaid weed (*Proserpinaca pectinata*), and Bahia grass.

534 – Reservoirs < 10 acres (9.49 ac) – There are a few man-made ponds that were created prior to 1984 but after 1973.

621 – Cypress (32.7 ac) – This habitat is dominated by bald cypress (*Taxodium distichum*), tupelo (*Nyssa biflora*), slash pine, dahoon holly (*Ilex cassine*), and hackberry (*Celtis occidentalis*) on the fringes of this habitat. The subcanopy consists of laurel oak, cabbage palm, swamp bay (*Persea palustris*), red maple (*Acer rubrum*), wax myrtle (*Morella cerifera*), and water oak. The groundcover is fairly open but contains St. John’s wort (*Hypericum cistifolium*), broomsedge, soft rush, and swamp fern (*Blechnum serrulatum*).

625 – Hydric Pine Flatwoods (2.79 ac) – This habitat has a canopy dominated by slash pine with a sparse subcanopy of cabbage palm, fetterbush (*Lyonia lucida*), and wax myrtle. The groundcover is open with pine straw and sparse wiregrass (*Aristida stricta*), hatpins (*Eriocaulon decangulare*), saw palmetto, and sawgrass (*Cladium jamaicense*).

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643 – Wet Prairies (18.7 ac) – There are wet prairies both in the pastures and small areas on the east side of the property. The wet prairies within the pastures have an open canopy and subcanopy with a groundcover dominated by broomsedge, Bahia grass, sparse soft rush, and hatpins. The wet prairies along the property boundary to the east have a canopy of slash pine, with a subcanopy of wax myrtle, dahoon holly, and cabbage palm. The groundcover consists of St. John’s wort, duck potato (*Sagittaria lancifolia*), Virginia chain fern (*Woodwardia virginica*), royal fern (*Osmunda regalis*), pickerel weed (*Pontederia cordata*), hatpins, gallberry, fetterbush, and broomsedge. Both of these areas are utilized by livestock on the property.

4.0 WETLANDS AND SURFACE WATERS

The criteria used to determine the presence of the boundaries of wetlands and surface waters were in accordance with Chapter 62-340 F.A.C. and the 1987 *Corps of Engineers Wetlands Delineation Manual*.

There are approximately 53.75 acres of forested and wet prairie wetlands and 18.45 acres of surface waters onsite (**Wetland & Surface Water Map**). Zev Cohen and Associates, Inc. delineated the onsite wetlands using pink “WETLAND DELINEATION” tape. Their limits have not been professionally surveyed nor have they been inspected by the appropriate regulatory agencies. Their limits are subject to change following agency inspections with St. Johns River Water Management District (SJRWMD) and Us Army Corps of Engineers (USACE).

4.1 WETLAND AND SURFACE WATER IMPACTS

The project proposes a total of 45.88 acres of direct wetland impacts, 17.94 acres of surface water impacts, and 1.9 acres of secondary wetland impacts (**Wetland Impact Map**). A 100’ setback was used to calculate the secondary impacts on the proposed impacts where a minimum 15’/25’ average upland buffer could not be maintained.

Wetland Name	Habitat Type	Size (ac)	Impact Area (ac)
W-1	621	2.26	2.26
W-2	643	0.18	0.18
W-3	621	4.44	4.44
W-4	621/643	6.41	6.41
W-5	621	0.27	0
W-6	621	0.01	0
W-7	621	0.09	0
W-8	621	0.09	0

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W-9*	621	2.68	0
W-10*	621/643	9.37	4.78
W-11	621	0.12	0.12
W-12	621	0.09	0.09
W-13	625	0.08	0.08
W-16	625	1.4	1.4
W-18	643	0.18	0.18
W-19	643	0.37	0.37
W-20	643	0.08	0.08
W-14A	625	0.37	0.37
W-17	621	6.95	6.95
W-21	625/643	3.64	3.64
W-15	621/643	0.70	0.7
W-13A	625	0.03	0.03
W-23	643	0.77	0.77
W-25	643	0.52	0.52
W-24	643	4.09	4.09
W-29	643	3.70	3.7
W-22	643	3.41	3.41
W-28	643	0.27	0.27
W-27	643	1.18	1.18
<hr/>			
Total		53.75	45.88

*Wetland considered WOTUS

4.2 ELIMINATION AND REDUCITON OF IMPACTS

In considering alternative site plans and site analysis, with respect to the elimination and reduction of wetland impacts, the provision in Section 10.2.1 of the St. Johns River Water Management Applicant Handbook Volume I has been met, while only one provision needs to be met. This section states that the SJRWMD will not require the applicant to implement practicable design modifications to reduce or eliminate impacts when:

“The ecological value of the functions provided by the area of wetland or other surface water to be adversely affected is low, based on the site specific analysis using the factors in subsection 10.2.1.2, and the proposed mitigation will provide greater long term ecological value than the area of wetland or other surface water to be adversely affected,” OR “The applicant proposes mitigation that implements all or part of a plan that provides regional ecological value that provides greater long term ecological value than the area of wetland or other surface water to be adversely affected.”

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A majority of the project area has been utilized as a pasture for cattle grazing since approximately 1970, and still operates as land with active cattle grazing. The rest of the site is a mixture of upland and wetland pine flatwoods and cypress domes. The cattle have access to all areas within the property boundary and have caused degradation of the wetland habitats through their continued use.

This property will be developed to support the growing businesses, home builders, and other community needs as designated by the company/individual operating out of the industrial facility proposed for development. Given the surrounding development, existing zoning and future land use, this site is not an ideal property to preserve wetlands for long term conservation.

Since this entire property is within the floodplain, floodplain compensation is required at a 1-to-1 ratio. A majority of the development for the roads, parking, buildings, and infrastructure are proposed within the uplands. Approximately 50% of the proposed wetland impacts for this project are associated with floodplain compensation and stormwater retention as required by the City of Daytona Beach.

All mitigation for this project will be purchased from a regionally significant mitigation bank, which have been documented and verified to provide equal and/or greater habitat with better than or equal to ecological value than those on the project area.

4.3 USACE 404 WOTUS WETLANDS

It is expected that Wetlands 9 and 10, along with some of the surface waters will be 404 jurisdictional under current Rapanos/Sackett ruling utilized by the USACE. These wetlands will need to be reviewed by USACE staff to determine if they are WOTUS or not. If they are determined to be WOTUS, an Individual Permit (IP) application will need to be submitted to USACE for permitting and joint mitigation credits will need to be purchased to offset impacts to those specific wetlands. If they are not deemed WOTUS, no additional USACE permitting will be required.

4.4 WETLAND MITIGATION

A total of 45.88 acres of wetland impacts, and 1.9 acres of secondary impacts are proposed for the overall project. The secondary impacts were assessed based on a 100' setback from the impacts area where a minimum 15'/25' average upland buffer could not be maintained. All wetlands are jurisdictional to the SJRWMD, however, only wetlands 9 and 10 are considered WOTUS and will require federal mitigation credits to offset the proposed impacts. Based on the

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UMAM estimates there is a functional loss of 21.64 credits (**UMAM Table**). These UMAM values were determined based on the current and past land use of the property (cattle grazing) given the conditions of the habitats that exist onsite (**Wetland UMAM Map**). These impacts will be mitigated by purchasing mitigation credits from a regionally significant mitigation bank that serves this basin (Basin 17): Farmton Mitigation Bank, Port Orange Mitigation Bank, Lake Swamp Mitigation Bank, Webster Creek Mitigation Bank, and Tiger Bay Mitigation Bank.

The wetland impacts that will require federal credits for mitigation total 4.78 acres of direct impact and 1.9 acres of secondary impacts, which are associated with Wetland 10. These will be purchased as joint (state & federal) credits from a regionally significant mitigation bank totaling approximately 2.82 credits. All other direct wetland impacts (41.1 ac) will be offset through the purchase of offsite state-only credits, totaling approximately 18.83 credits.

5.0 PROTECTED SPECIES

Prior to the initial site survey, a preliminary literature review was conducted to compile a list of federal or state protected wildlife species that might occur on-site. Database resources utilized included: the U.S. Fish and Wildlife Service’s Information for Planning and Consultation (IPAC) System, the Florida Fish and Wildlife Conservation Commission (FWC) *Florida’s Endangered Species, Threatened Species, and Species of Special Concern*, the FWC Bald Eagle Nest Locator, and the Florida Department of Agriculture and Consumer Services (FDACS).

5.1 Protected Wildlife Species

The federal and state protected species with the potential to occur within the project site are listed below in Table 1. The site was determined to include potentially suitable habitat for gopher tortoises, which is a state protected species.

Table 1. Protected wildlife species with the potential to occur on the subject property, in Volusia County, Florida September 21, 2024.

Species Name	Common Name	Agency Listing		
		FWC/USFWS	Likelihood of Occurrence	Habitat
<i>Amphelocoma coerulescens</i>	Florida scrub-jay	FT	Low	Scrub, Xeric
<i>Antigone canadensis pratensis</i>	Florida sandhill crane	ST	Low	Open wetlands, prairies
<i>Drymarchon corais couperi</i>	Eastern indigo snake	FT	Low	Wide variety of habitats
<i>Egretta caerulea</i>	Little blue heron	ST	Low	Shallow water bodies in FL
<i>Egretta tricolor</i>	Tricolored heron	ST	Low	Coastal ponds, marshes, swamps
<i>Falco sparverius paulus</i>	Southeastern American kestrel	ST	Low	Open habitats with scattered trees

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<i>Gopherus polyphemus</i>	Gopher tortoise	ST	Low	Sandhills, scrub, flatwoods
<i>Haliaeetus leucocephalus</i>	Bald eagle	BE	Low	Common adjacent to water
<i>Mycteria americana</i>	Wood stork	FT	Low	Shallow open waters
<i>Picoides borealis</i>	Red-cockaded woodpecker	FE	Low	Mature pine forests with regular burn
<i>Pituophis melanoleucus</i>	Florida pine snake	FT	Low	Upland areas adjacent to wetlands
<i>Platalea ajaja</i>	Roseate spoonbill	ST	Low	Coastal ponds, marshes, swamps
<i>Puma concolor coryi</i>	Florida panther	FE	Low	Wide variety of habitats
<i>Sciurus niger shermani</i>	Sherman's fox squirrel	SSC	Low	Longleaf pine-turkey oak sandhills

FE= Federally Endangered; FT= Federally Threatened; ST= State Threatened SSC= Species of Special Concern BE= Bald and Golden Eagle Protection Act

Gopher tortoise (*Gopherus polyphemus*) – The gopher tortoise is a state-designated Threatened Species due to habitat loss associated with development. Gopher tortoises require uplands that have a high enough elevation to allow for the construction of underground burrows that would not be below the groundwater table. These conditions are present on the subject property. Other commensal species do utilize these burrows such as the Gopher frog (*Lithobates capito*), Florida mouse (*Podomys floridanus*), and the Eastern indigo snake (*Drymarchon couperi*). A 100% gopher tortoise survey will need to be performed prior to any construction activities. If any gopher tortoise burrows are identified on site, burrow excavation and tortoise relocation will be required prior to construction for all identified burrows and a gopher tortoise relocation permit will need to be obtained from FWC.

Bald Eagle (*Haliaeetus leucocephalus*) - In 2007, the USFWS removed the Bald Eagle from the list of federally endangered and threatened species. They were additionally removed from the FWC’s imperiled species list in 2008. Bald Eagles are no longer protected under the Endangered Species Act, however, they are still protected under the Bald and Golden Eagle Protection Act. This act restricts development adjacent to known Bald Eagle nests.

During our multiple site visits two bald eagle nests were observed onsite. They are located in the northwest portion of the property and adjacent to Wetland 17 (**Bald Eagle Nest Map**). Eagle Nest 1 has been documented as being active and occupied, while Eagle Nest 2 has been determined to be dilapidated and not active nor occupied. An Incidental Take Permit with the US Fish and Wildlife Service (USFWS) has been applied for in order to impact Eagle Nest 2 and reduce/maintain a 100’ buffer around Eagle Nest 1.

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5.2 Wildlife Survey

Multiple site inspections were conducted in February and March of 2022 to determine the potential presence of protected species and identify wildlife utilization on-site. No protected species were observed during the site inspection.

During the inspections the site was reviewed for potential gopher tortoise habitat. The habitat onsite does offer the potential for gopher tortoises to exist onsite. However, no tortoise burrows or tortoises were identified during the site inspections. The site will require a final 100% gopher tortoise survey within 90 days of construction by an Authorized Gopher Tortoise Agent. If any gopher tortoise burrows are identified during the final survey, a Gopher Tortoise Relocation Permit will be required in addition to excavation of the burrows and relocation of all tortoises to an approved gopher tortoise recipient site.

There were two previously unidentified bald eagle nests observed onsite in the northwest portion of the property.

6.0 SUMMARY

An Environmental Assessment has been conducted on the FL P40 project site located in Daytona Beach, Florida. The assessment focused on biological and ecological regulatory issues, namely wetland and wetland impacts, 404 jurisdiction, and protected species. The wetlands will need to be reviewed and approved by SJRWMD and the USACE.

There are approximately 53.75 acres of forested and wet prairie wetlands and 18.45 acres of surface waters onsite. These wetlands, however, will need to be reviewed and verified by the SJRWMD and USACE. There are 45.88 acres of direct wetland impacts, 17.94 surface water impacts, and 1.9 acres of secondary wetland impacts proposed for this project. Based on the approximate UMAM values there is a functional loss of 21.64 credits.

The proposed project is not likely to adversely affect any protected species or require any additional permitting beyond the potential gopher tortoise relocation permit and the bald eagle monitoring/incidental take permit. A 100% gopher tortoise survey will be required 90 days prior to any construction activities, if any burrows are observed they will need to be relocated after acquiring a Gopher Tortoise Relocation Permit from FWC.

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Appendices

Appendix A – Exhibits

- Aerial Map
- Location Map
- Quadrangle Map
- Soils Map
- Habitat Map
- Wetland & Surface Water Map
- Wetland Impact Map
- UMAM Table
- Wetland UMAM Map
- Bald Eagle Nest Map

Appendix A

Project Boundary (276 ac)



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

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1,000 500 0 1,000 Feet

Utility/Storm Map Coraci Lot 40 Daytona Beach, FL

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Boundary (276 ac)



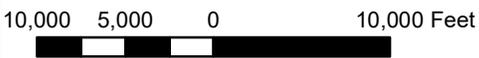
Project Location

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

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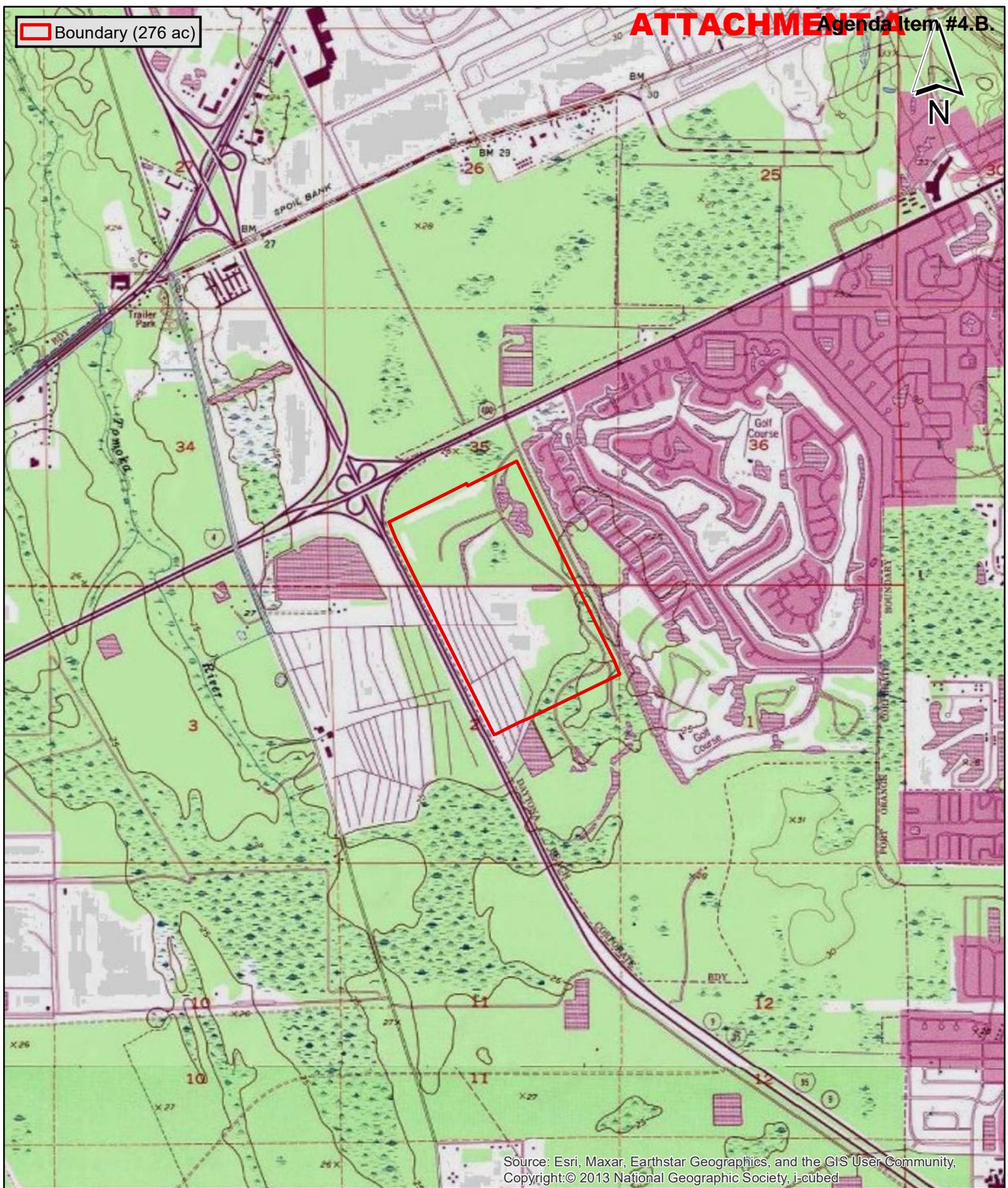
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Location Map FPL Lot 40 Daytona Beach, FL

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Boundary (276 ac)



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community, Copyright:© 2013 National Geographic Society, i-cubed

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2,500 1,250 0 2,500 Feet

USGS Quadrangle Map

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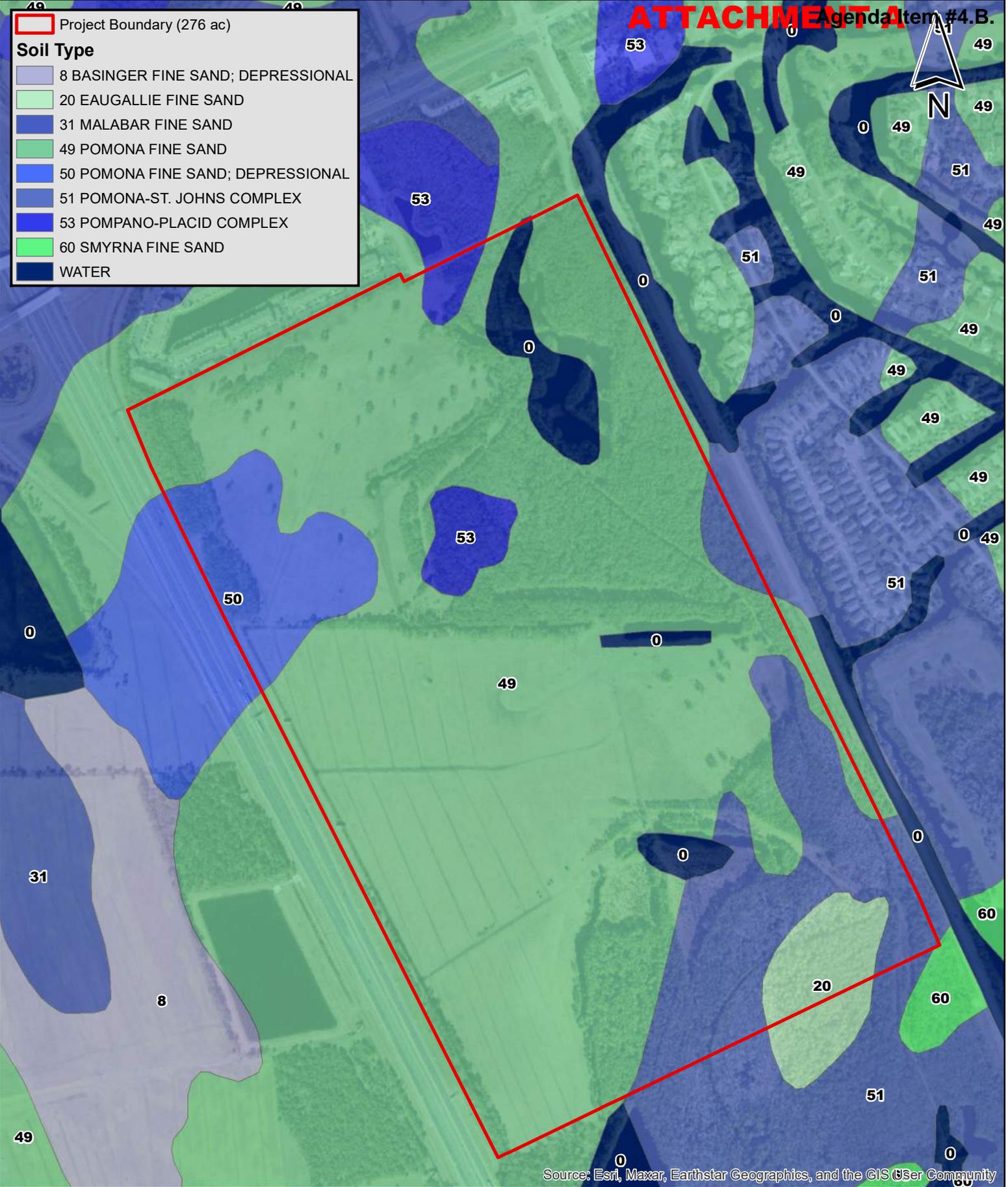
Daytona Beach, FL

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Project Boundary (276 ac)

Soil Type

- 8 BASINGER FINE SAND; DEPRESSIONAL
- 20 EAUGALLIE FINE SAND
- 31 MALABAR FINE SAND
- 49 POMONA FINE SAND
- 50 POMONA FINE SAND; DEPRESSIONAL
- 51 POMONA-ST. JOHNS COMPLEX
- 53 POMPANO-PLACID COMPLEX
- 60 SMYRNA FINE SAND
- WATER

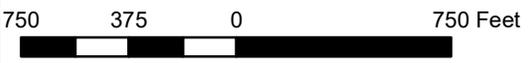


Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

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Soils Map
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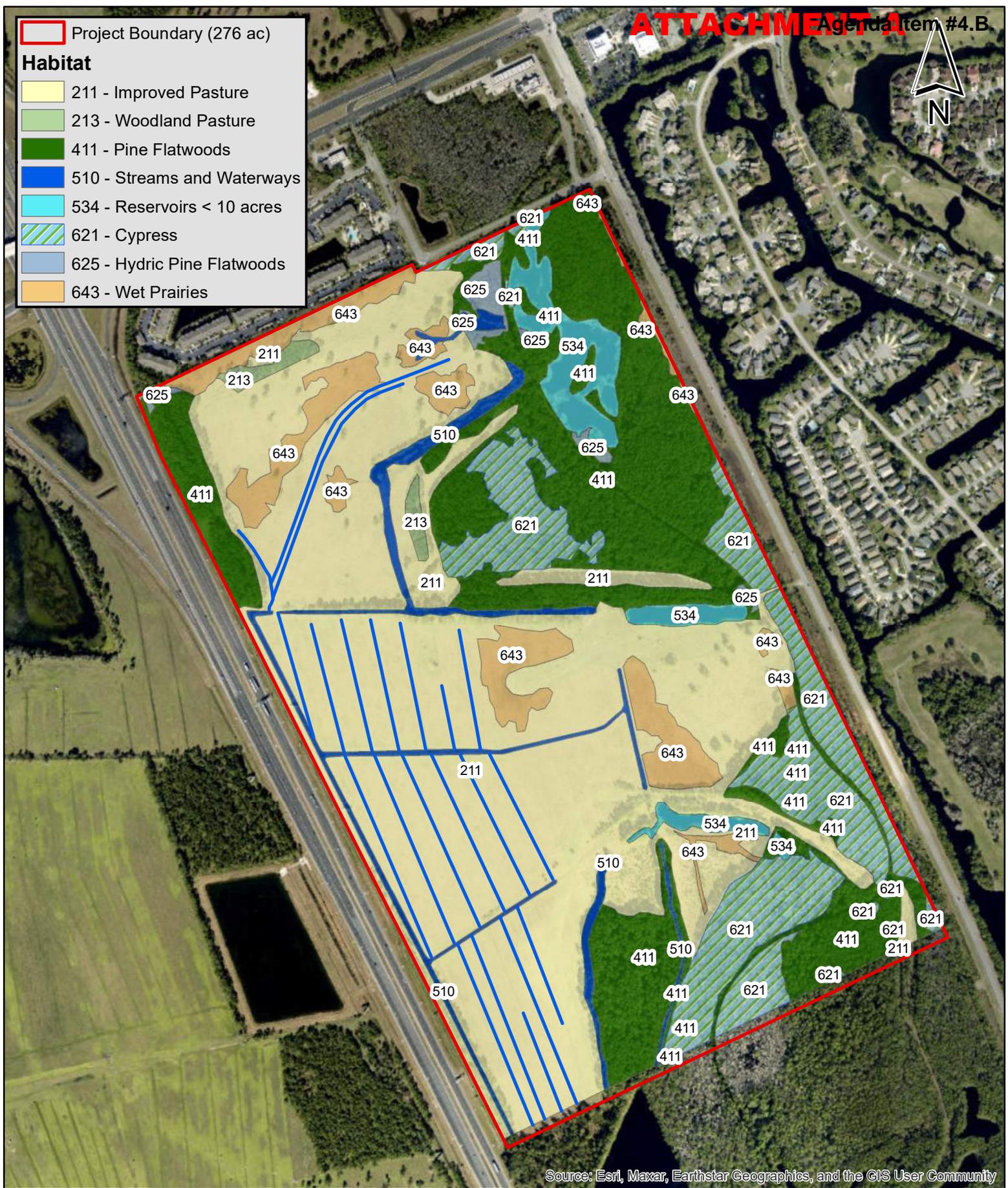




Project Boundary (276 ac)

Habitat

- 211 - Improved Pasture
- 213 - Woodland Pasture
- 411 - Pine Flatwoods
- 510 - Streams and Waterways
- 534 - Reservoirs < 10 acres
- 621 - Cypress
- 625 - Hydric Pine Flatwoods
- 643 - Wet Prairies



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

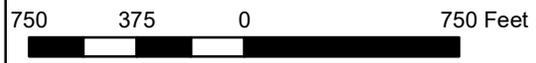
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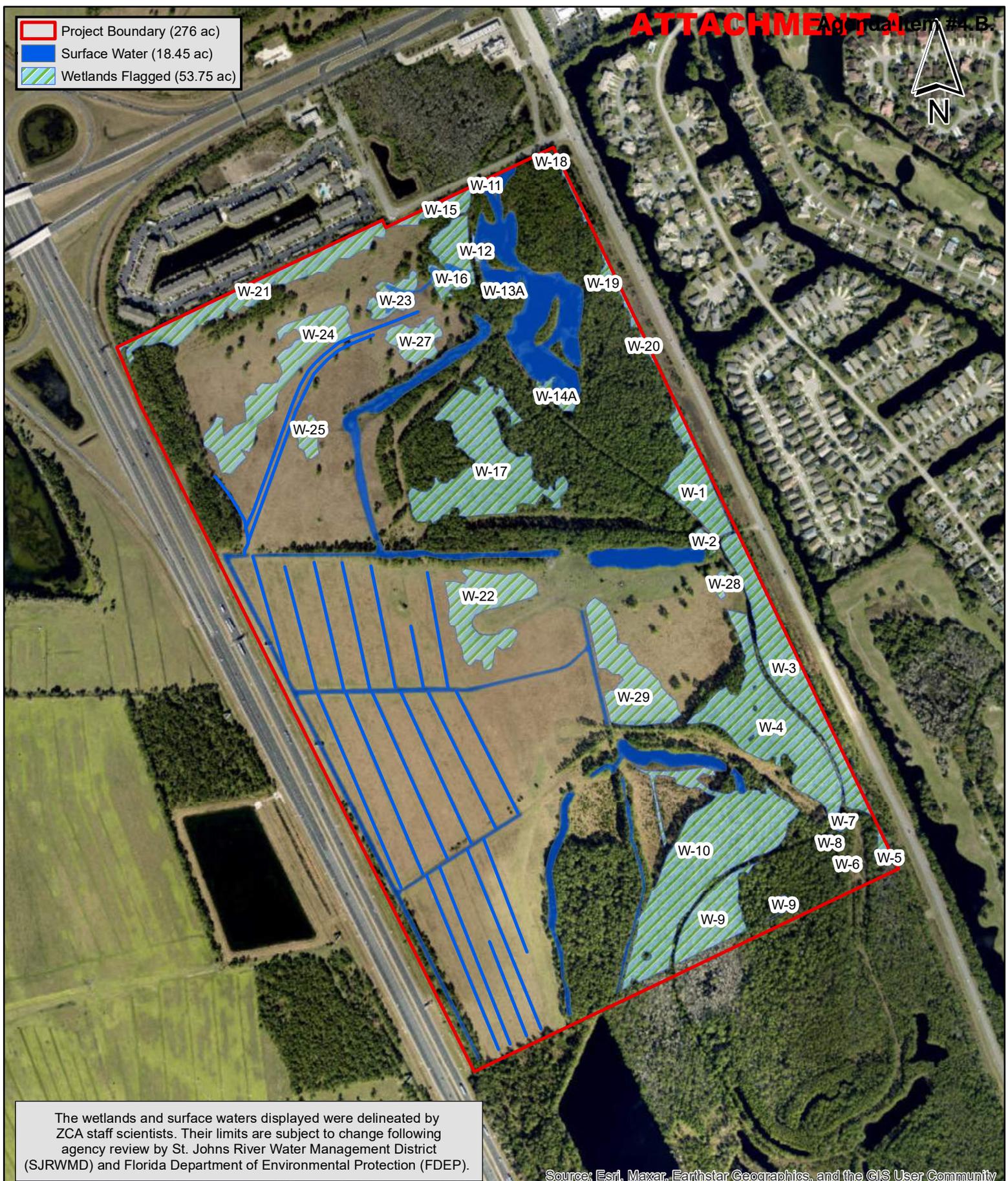
Habitat Map FPL Lot 40 Daytona Beach, FL

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-  Project Boundary (276 ac)
-  Surface Water (18.45 ac)
-  Wetlands Flagged (53.75 ac)



The wetlands and surface waters displayed were delineated by ZCA staff scientists. Their limits are subject to change following agency review by St. Johns River Water Management District (SJRWMD) and Florida Department of Environmental Protection (FDEP).

Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

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Wetlands & Surface Water Map

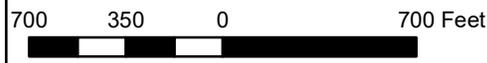
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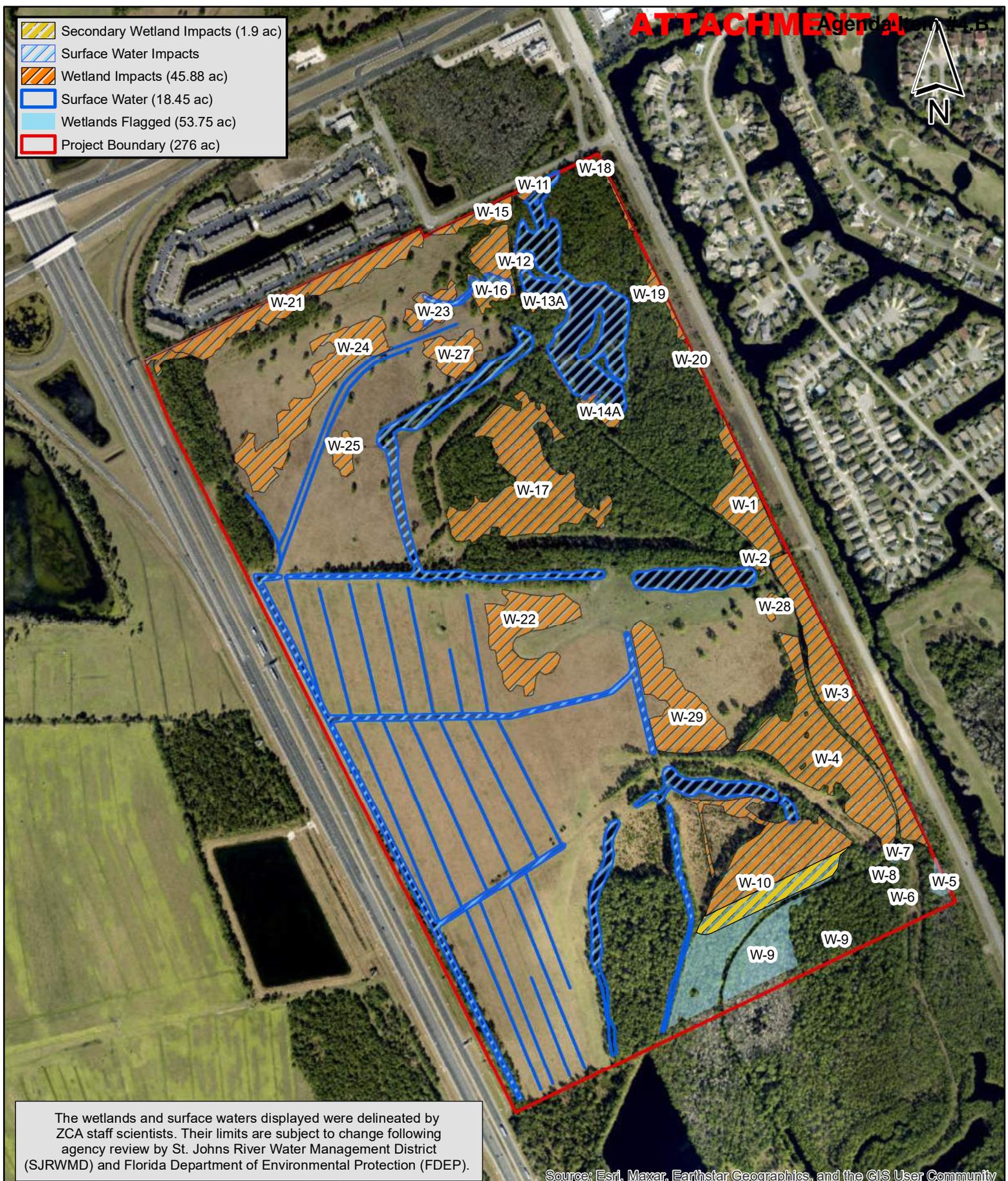


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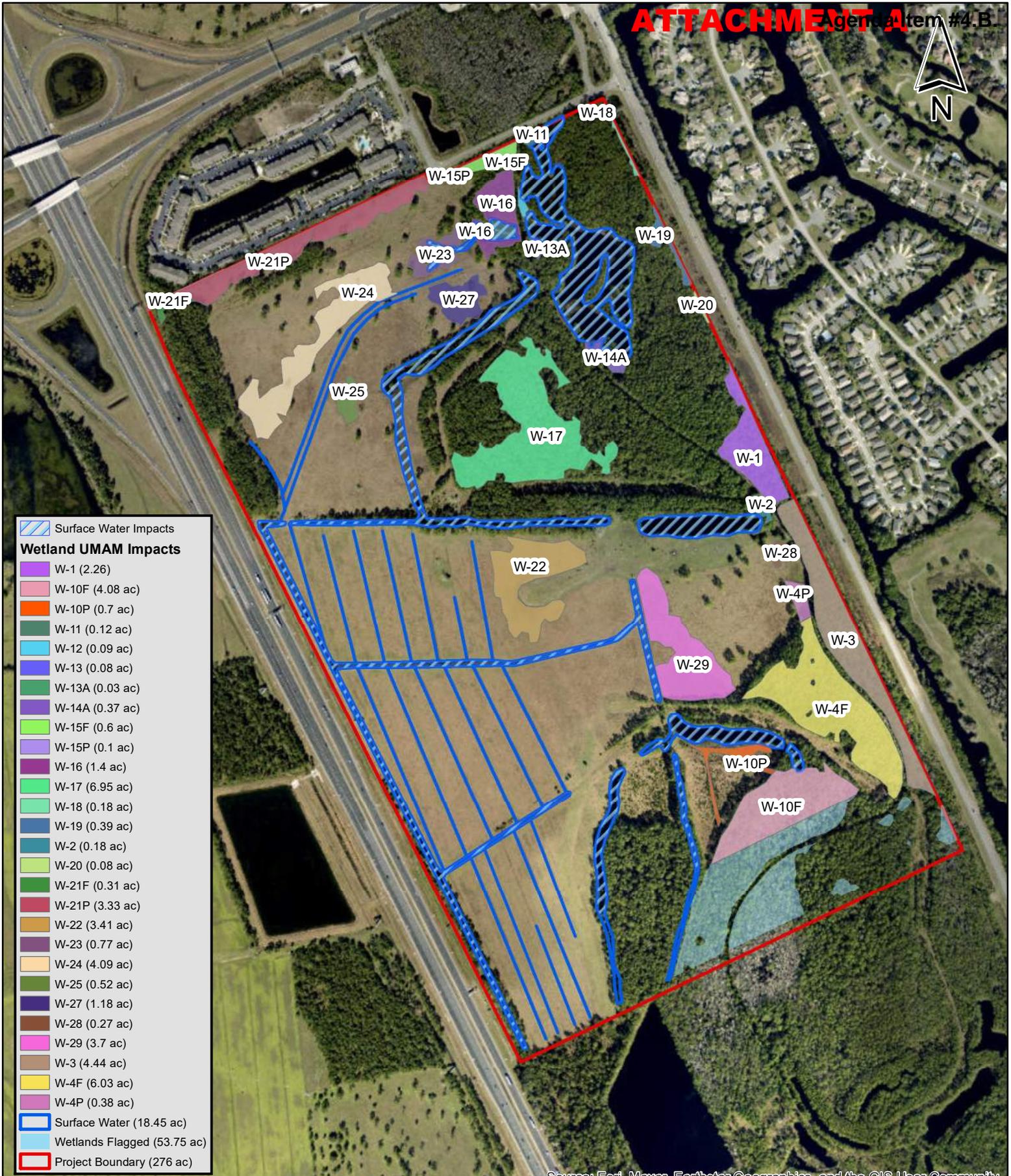


-  Secondary Wetland Impacts (1.9 ac)
-  Surface Water Impacts
-  Wetland Impacts (45.88 ac)
-  Surface Water (18.45 ac)
-  Wetlands Flagged (53.75 ac)
-  Project Boundary (276 ac)



The wetlands and surface waters displayed were delineated by ZCA staff scientists. Their limits are subject to change following agency review by St. Johns River Water Management District (SJRWD) and Florida Department of Environmental Protection (FDEP).

Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community



Surface Water Impacts	
[Blue hatched box]	Surface Water (18.45 ac)
Wetland UMAM Impacts	
[Pink box]	W-1 (2.26)
[Light pink box]	W-10F (4.08 ac)
[Orange box]	W-10P (0.7 ac)
[Dark green box]	W-11 (0.12 ac)
[Light blue box]	W-12 (0.09 ac)
[Blue box]	W-13 (0.08 ac)
[Green box]	W-13A (0.03 ac)
[Purple box]	W-14A (0.37 ac)
[Light green box]	W-15F (0.6 ac)
[Light purple box]	W-15P (0.1 ac)
[Dark purple box]	W-16 (1.4 ac)
[Bright green box]	W-17 (6.95 ac)
[Light green box]	W-18 (0.18 ac)
[Dark blue box]	W-19 (0.39 ac)
[Teal box]	W-2 (0.18 ac)
[Light green box]	W-20 (0.08 ac)
[Dark green box]	W-21F (0.31 ac)
[Red box]	W-21P (3.33 ac)
[Brown box]	W-22 (3.41 ac)
[Purple box]	W-23 (0.77 ac)
[Light orange box]	W-24 (4.09 ac)
[Dark green box]	W-25 (0.52 ac)
[Dark blue box]	W-27 (1.18 ac)
[Brown box]	W-28 (0.27 ac)
[Pink box]	W-29 (3.7 ac)
[Light brown box]	W-3 (4.44 ac)
[Yellow box]	W-4F (6.03 ac)
[Pink box]	W-4P (0.38 ac)
[Blue hatched box]	Surface Water (18.45 ac)
[Light blue hatched box]	Wetlands Flagged (53.75 ac)
[Red box]	Project Boundary (276 ac)

Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

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Wetlands UMAM Impact Map

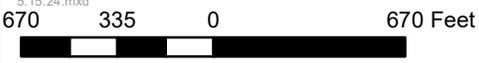
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-  Boundary
-  Field Verified Bald Eagle Nest Locations
-  Primary Protection Zone (330')
-  Secondary Protection Zone (660')



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

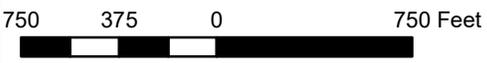
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Bald Eagle Nest Map

FPL Lot 40

Daytona Beach, FL

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Carmen J. Balgobin, Ed.D
Superintendent of Schools

School Board of Volusia County

Mrs. Jessie Thompson, Chair
Ms. Jamie M. Haynes, Vice Chair
Mr. Ruben Colón
Ms. Donna Brosemer
Ms. Krista Goodrich

**School Adequate Capacity Determination
No Finding of Adequate Capacity Letter**

December 19, 2024

Ms. Jessica L. Gow, Esq
Cobb Cole
1 Daytona Blvd
Daytona Beach, FL 32114

RE : Florida Logistics Center PD – City of Daytona Beach
School Concurrency Case # 24-11-26-001-A

Ms. Gow:

The County Charter requires any Comprehensive Plan Amendment or Rezoning that allows increased residential density to be effective only when adequate public schools can be timely planned and constructed to serve the projected increase in student population. The district uses this requirement as the guiding principle behind the school adequate capacity review.

District staff reviewed the information for the proposed project known as Florida Logistics Center PD associated with 288.77 +/- acres of property located at or near the intersection of S Williamson Blvd and Beville Rd within Daytona Beach city limits. The proposed project would provide one thousand five hundred (1,500) single family homes.

The district uses a county wide Student Generation Rate (SGR) of (0.258) per single family dwelling unit to calculate projected students. By applying the SGR to the use types in Table 1 below, the project could generate three hundred eighty-seven (387) full time students.

Table 1

UNIT TYPE	SGR	UNIT COUNT	STUDENTS GENERATED
Single Family Dwelling Unit	0.258	1,500	387
Multifamily Dwelling Unit	0.137	0	0
Manufactured Home Dwelling Unit	0.052	0	0
Total		1,500	387

When performing an adequate capacity review, district staff evaluates the effects of the proposed change compared to any remaining permanent capacity within the impacted schools, up to 100%, Table 2 (next page). The projected increase in student population may be over 100% if there are plans to serve increased student population in that planning area within the long-term planning horizon. A finding of adequate capacity may be issued in either case.

Table 2

Schools	SY 2024/25 Enrollment	% of Permanent Capacity	Plans for Capacity Increase Long-Term	Traditional K-12 students projected
Palm Terrace Elementary	690	153%	No	166
Silver Sands Middle	1,207	138%	No	96
Halifax CSA (Atlantic High)	1,209	118%	No	118
Other				7

The student projections generated by this project will increase the existing percentage above 100% permanent capacity at all school levels. As the concurrency service areas (CSAs) for Palm Terrace Elementary and Silver Sands Middle are at or over 115% for level of service (LOS) standards, secondary capacity reviews are required (Tables 3 and 4).

Secondary Elementary Capacity Review

Table 3

Schools	Adopted LOS	SY 2024/25 Enrollment	Existing LOS w/ Adq	Students Generated by Request	Result LOS
Palm Terrace Elementary	115%	690	129%	166	153%
Turie T. Small Elementary	115%	587	70%	-	70%
Elementary CSA Average					111%

Secondary Middle Capacity Review

Table 4

Schools	Adopted LOS	SY 2024/25 Enrollment	Existing LOS w/ Adq	Students Generated by Request	Result LOS
Silver Sands Middle	115%	1,207	129%	96	138%
Campbell Middle	115%	962	101%	-	101%
Middle CSA Average					120%

Secondary capacity reviews evaluate whether there is sufficient capacity available in adjacent CSAs. In this case, the CSAs for Turie T. Small Elementary and Campbell Middle have been identified as a valid adjacencies per the policies and conditions established by the School Board. Unfortunately, while the average LOS of 111% for both elementary schools falls below mitigation thresholds, the average LOS of 120% for both middle schools is well above mitigation thresholds.

Florida Logistics Center PD – City of Daytona Beach
December 19, 2024

The school district therefore recommends that all parties begin discussions to evaluate options such that adequate school capacity can be timely planned and constructed to serve the anticipated students associated with this proposed project, and to determine if a Capacity Enhancement Agreement can be negotiated based on these discussions.

No student reservations have been made at this time.

Should you need additional information, please contact me at (386) 947-8786, extension 50802.

Sincerely,



James F. Roberts
Specialist, Planning & GIS

CC: Carmen J. Balgobin, Ed.D, Superintendent of Schools
Ron Young, Director of Planning & Construction
Robert J. Voges, Ed.S, Planning Coordinator
Douglas M, Gutierrez, AICP, Planning Manager, City of Daytona Beach

Prepared by:
Jessica Gow, Esq.
Cobb Cole Law Firm
One Daytona Blvd., Ste 600
Daytona Beach, FL 32114

AFTER RECORDING RETURN TO:
Facilities Department
VOLUSIA COUNTY SCHOOL DISTRICT
3750 Olson Drive
Daytona Beach, FL 32124

SPACE ABOVE THIS LINE FOR RECORDING DATA

SCHOOL CAPACITY ENHANCEMENT AGREEMENT

File # _____ VCSB
Project Name: Florida Logistics Center

THIS SCHOOL CAPACITY ENHANCEMENT AGREEMENT ("Agreement"), is made by and between THE SCHOOL BOARD OF VOLUSIA COUNTY, FLORIDA, a public corporate body organized and existing under the Constitution and laws of the State of Florida, whose address is 200 N. Clara Avenue, DeLand, Florida 32721 ("School Board"), CITY OF DAYTONA BEACH, a Florida municipal corporation ("City"), whose address is 301 South Ridgewood Avenue, Daytona Beach, FL 32114, AND FL P40, LLC, hereinafter referred to as the "Developer", whose address is 259 Bill France Blvd., Daytona Beach, FL 32114 (the "School Board," "City," and "Developer" may be referred to collectively herein as the "Parties") effective as of the date of execution by the last of the parties to this Agreement ("Effective Date").

WITNESSETH:

WHEREAS, Developer is the current landowner of certain property located in Volusia County, Florida, more particularly described in Exhibit "A" attached hereto and by this reference made a part hereof, hereinafter referred to as the "Property"; and

WHEREAS, Developer is the authorized agent for pending amendments to the Future Land Use classification and zoning under consideration by the City of Daytona Beach ("City"); and

WHEREAS, current zoning for the Property is Agricultural and the current Future Land Use classification for the Property is Interchange Commercial, Mixed Use, General Industrial, Office Transition, Level 1 Residential, and Existing Potential Parks; and

WHEREAS, the Developer is seeking to amend the Future Land Use classification to Mixed Use, with a site-specific limitation to 1,500 residential units and to amend the zoning designation to the Florida Logistics Center Planned District Agreement (the "Florida Logistics Center PD"); and

WHEREAS, the number of new dwellings that the City may actually approve, or that Developer may actually be able to develop on the Property will not exceed 1,500 dwellings based on

a site-specific neighborhood policy in the City of Daytona Beach’s comprehensive plan; and

WHEREAS, it is further recognized that following the approval of the Florida Logistics Center PD, the Developer will be required to apply for and receive approval of a final site plan or final plat from the City of Daytona Beach, which plat or site plan will determine the exact number of dwellings which may be constructed on the Property, and which number may be fewer but not more than the 1,500 maximum number of dwellings allowable by the approved Florida Logistics Center PD for the Property; and

WHEREAS, the School Board recognizes that overcrowded conditions will adversely affect the educational services provided at any given school and it is the School Board's belief that an increase in the number of dwellings permitted for construction on the Property may further exacerbate adverse conditions on public school facilities within Volusia County, Florida; and

WHEREAS, in order to allow the School Board to have sufficient capacity to accommodate, in a timely manner, the demand created by the impact of the students to be generated from the residential density associated with the approval of the Future Land Use classification amendment and development of the new dwellings on the Property, Developer has agreed to provide a capacity enhancement payment to the School Board upon the issuance of a development order by the City authorizing the development of the Property with the new dwellings; and

WHEREAS, the amount of the capacity enhancement payment described herein will be based upon the actual number of residential dwelling units permitted for construction pursuant to the final site plan or final plat, as more particularly set forth below.

NOW, THEREFORE, in consideration of the premises, the mutual covenants contained herein, and other good and valuable considerations, the receipt and sufficiency of which are hereby acknowledged, the parties hereto, intending to be legally bound hereby agree as follows:

1. *Recitals.* The foregoing recitals to this Agreement are hereby incorporated by reference and made a part of this Agreement.
2. The City shall maintain the site specific neighborhood policy in the City’s Future Land Use Element of its Comprehensive Plan, pursuant to the Developer initiated Future Land Use Amendment, providing that the number of dwellings on the Property shall not exceed 1,500 dwellings.
3. *Developer’s Obligation for School Capacity Enhancement Payment.* The Developer shall pay to the School Board, without protest, upon the issuance of a development order for a final site plan or final plat, whichever occurs first, and which development order includes dwellings, a capacity enhancement payment in the amount equal to the number of dwellings as set forth on the final approved site plan or final plat, multiplied by the then-current school impact fee as adopted by or in accordance with County Ordinance in effect at time of issuance of the development order for such final plat or final site plan approval (the “School Capacity Enhancement Payment”).

4. *Effect of School Capacity Enhancement Agreement.* The School Board and Developer acknowledge that the purpose of this Agreement is to provide for sufficient capacity to accommodate the increased demand for school capacity created as a result of the residential density associated with the change in the Future Land Use classification and the proposed development of the new dwellings on the Property. Upon final approval and execution of this Agreement by all Parties, and recording hereof, the School Board shall issue a Finding of Adequate School Capacity and acknowledge to the City that, as a result of the terms of this Agreement, adequate school capacity exists to support the City's approval of the proposed future land use amendment with the above-referenced location specific neighborhood policy for the Property, limiting the number of dwellings to 1,500. The Developer acknowledges and agrees that the issuance of a Finding of Adequate School Capacity by the School Board does not result in a reservation of student stations for the students that will be generated by development of the Florida Logistics Center PD and that any certificate of School Concurrency to be issued under Section 613, Volusia County School Board Policies, shall be conditioned upon performance of this Agreement by Developer.

5. *School Capacity Enhancement Payment.* Upon and within ten (10) days after the issuance of a development order for the final site plan or final plat for the Property, which final development order permits development of or plats lots for dwellings, and as a condition of the commencement of construction, the Developer shall remit the School Capacity Enhancement Payment to the School Board. The School Capacity Enhancement Payment must be made no later than five (5) years from the date of this Agreement or, at the School Board's option, the School Board may terminate this Agreement by giving notice of termination to Developer at their respective aforesaid addresses and, upon such termination, the terms and conditions of the Agreement shall expire and be of no further force or effect.

6. *Acknowledgments.* Developer acknowledges that the payment of the School Capacity Mitigation Payment does not release the Developer from payment of any other development or building related fees, including school impact fees or such other school related fees as may be prescribed by law, except that payment of the School Capacity Enhancement Payment shall be a credit against the amount of any school impact fee in effect at the time of certificate of occupancy of each dwelling constructed on the Property.

The School Board, by accepting the School Capacity Enhancement Payment, acknowledges and agrees that it will apply the funds received from the Developer as it deems reasonably appropriate to provide or enhance the availability of school capacity in terms of available student stations to serve the anticipated student population generated by the development of the Property in accordance with the Future Land Use Map amendment.

The Developer acknowledges and agrees that in the event the Property is not developed in accordance with the unit limitations set forth in the above-referenced location specific notation, this Agreement must be amended to address the increase in the proposed student population that will be generated by the development of the Property. Provided however, Developer acknowledges and agrees the required capacity enhancement arising from allowing additional dwellings may not necessarily be limited to prepayment of impact fees.

7. *Waiver.* Developer hereby waives any right, on their individual behalf and on behalf of their heirs, successors and assigns, to contest the City's authority to discontinue the City's power and

authority to discontinue the process for any approvals for the Property, upon Developer's breach of accordance with the terms set forth in this Agreement. Developer represents and warrants to City and School Board that this Agreement has been entered into freely and voluntarily, without coercion, duress, or undue influence, and with full understanding and awareness of the circumstances, consequences and ramifications of such a waiver.

8. *Term and Survival.* This Agreement shall remain in full force and effect unless and until it is terminated by the School Board. Provided, however, if the City has not voted to approve the proposed future land use amendment within one (1) year of the Effective Date of this Agreement, the Agreement shall terminate unless the Agreement is extended to a specified date by mutual agreement of the Parties hereto.

9. *Binding Nature of this Agreement.* This Agreement shall inure to the benefit of the Parties hereto and the Property, and shall be binding upon any person, firm, or corporation that may become a subsequent owner, successor in interest or assign, directly or indirectly, of the Property or any portion thereof.

10. *Venue and Attorney Fees.* In the event of any claim, action, litigation or proceeding under this Agreement, venue shall be in Volusia County, State of Florida, and each party shall be responsible for their own attorney's fees.

11. *Amendment.* Amendments to this Agreement will only be in writing, signed by all Parties.

12. *Counterparts.* This Agreement may be executed in one or more counterparts, each of which shall be deemed to be an original but all of which together shall constitute one and the same instrument. The electronic (i.e., facsimile or email) transmittal or delivery of a fully executed copy of this Agreement shall be deemed valid as if a fully executed original copy of this Agreement was transmitted or delivered.

13. *Interpretation.* The Parties agree that nothing in this Agreement shall be interpreted to restrict the School Board's authority to determine school attendance zones. Further, the Parties acknowledge each Party has participated in the drafting of this Agreement and it shall not be construed in favor of any Party.

14. *Notices.* All notices, demands, requests, consents, approvals, and other communications (collectively, "Notices"), required or permitted to be given hereunder, shall be in writing and sent by facsimile (or by email or by similar device) or by either: (i) registered or certified air mail, postage prepaid, return receipt requested; or, (ii) special delivery service (e.g., Federal Express, UPS, etc.); addressed to the Party to be so notified as follows:

If to Developer, to: _____

with a copy to: Cobb Cole
Mark A. Watts, Esq.

231 N. Woodland Boulevard
DeLand, FL 32720
Phone: 3876-736-7700
Email: Mark.Watts@cobbcole.com

If to School Board:

School Board of Volusia County
3750 Olson Drive
Daytona Beach, FL 32124
Phone: 386-947-8786
Fax: 386-947-5847
Email: _____

with a copy to:

Landis Graham French, P.A.
F.A.(Alex) Ford, Jr., Esq.
145 E. Rich Avenue
Suite C
DeLand, FL 32724
Phone: 386-734-3451
Fax: 386-736-1350
Email: aford@landispa.com

If to City:

City Attorney
Benjamin Gross, Esq.
301 S. Ridgewood Avenue
Daytona Beach, FL 32114
Phone: 386-671-8040
Email: grossb@codb.us

The address or party to whom notice shall be sent may be changed at any time by either party by delivery of Notice to the other.

15. *Entire Agreement.* This Agreement constitutes and contains the entire agreement and understanding of the Parties with respect to the subject matter hereof and it may be modified only by a written document executed by all Parties hereto. The Parties hereby acknowledge there are no representations, understandings, agreements, terms or conditions not contained or referred to in this Agreement and that this Agreement supersedes any prior written or oral agreements, representations, or inducements.

16. *Recordation runs with the land.* Within ten (10) days of full execution hereof, this Agreement shall be recorded in the Public Records of Volusia County, Florida by School Board, at Developer’s expense. This Agreement shall bind Developer, School Board and City, their respective heirs, successors and assigns, and shall be deemed to be a burden on and run with the Property.

17. *School Attendance Areas.* The Parties agree that nothing in this Agreement shall be interpreted to restrict the School Board’s sole authority to determine school attendance areas. Pursuant to Section

612, Volusia County School Board Policies, the needed capacity improvements, as determined by the implemented School Concurrency program, will be placed in the School Board’s Five-Year Work Plan no later than the time of approval by the City of a final site plan or final plat for the Property.

IN WITNESS WHEREOF, the parties have executed this Agreement the day and year as set forth below.

Witnesses

THE SCHOOL BOARD OF
VOLUSIA COUNTY, FLORIDA

Witness 1 - Signature

By: _____
Signature

Witness 1 – Printed Name

Printed Name

Address: _____

Date: _____

Witness 2 – Signature

Witness 2 – Printed Name

Address: _____

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this ____ day of _____, 2025, by _____, as _____ of The School Board of Volusia County, Florida, on behalf of the school board, who is personally known to me; or who has produced _____ as identification.

[seal]

NOTARY PUBLIC:

Sign: _____

Print: _____

My Commission Expires: _____

Signed, sealed and delivered in the presence of: CITY OF DAYTONA BEACH, a Florida municipal corporation

Witness 1

Derrick L. Henry, Mayor

Print Name of Witness 1

Address: _____

Attest
By: _____

Witness 2

Deric C. Feacher, City Manager

Print Name of Witness 2

Address: _____

STATE OF FLORIDA
COUNTY OF VOLUSIA

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this ____ day of _____, 2025 by Derrick L. Henry, Mayor of the City of Daytona Beach, Florida, a Florida municipal corporation, on behalf of the City, who is personally known to me and did not take an oath.

NOTARY PUBLIC:

Sign: _____

Print: _____

My Commission Expires: _____

Approved as to form by:

Benjamin Gross, Esquire
City Attorney

Witnesses

Matthew Cicolo

Witness 1 - Signature

Matthew Cicolo

Witness 1 - Printed Name

Address: 51 DeForest Ave
Summit, NJ 07901

Suresh Shah

Witness 2 - Signature

SURESH SHAH

Witness 2 - Printed Name

Address: 51 DeForest Ave
Summit, NJ 07901

DEVELOPER

FL P40, LLC

By: *Lara Basile*
Signature

Lara J. Coraci Basile
Lara Basile, Manager

Date: 3/4/2025

STATE OF FLORIDA *New Jersey*
COUNTY OF UNION

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 12th day of March, 2025, by Lara Coraci Basile, as Manager of FL P40, LLC, on behalf of the company, who is personally known to me; or who has produced _____ as identification.

[seal]

NOTARY PUBLIC:

Sign: *Joanna Colosimo*

Print: Joanna Colosimo

My Commission Expires: June 9, 2026



Exhibit A

DESCRIPTION: (PER TITLE)

The following portions of Section 35, Township 15 South, Range 32 East and Sections 1 and 2, Township 15 South, Range 32 East, Volusia County, Florida, more particularly described as follows:

Volusia County, Florida, more particularly described as follows:

Three parcels in Sections 1 and 2, Township 15 South, Range 32 East, Volusia County, Florida, being part of the right-of-way line of Interstate 95 and West of the right-of-way line of Williamson Boulevard more particularly described as follows:

Parcel 1: A parcel in Section 2, Township 15 South, Range 32 East, Volusia County, Florida, being more particularly described as follows:

Parcel 2: A parcel in Section 2, Township 15 South, Range 32 East, Volusia County, Florida, being more particularly described as follows:

Parcel 3: A parcel in Section 2, Township 15 South, Range 32 East, Volusia County, Florida, being more particularly described as follows:

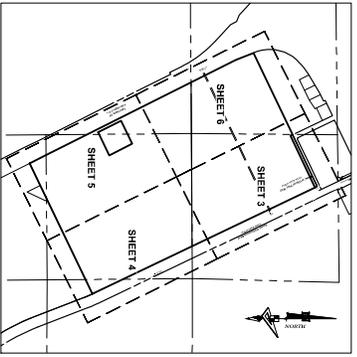
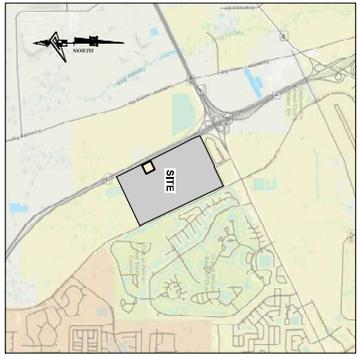
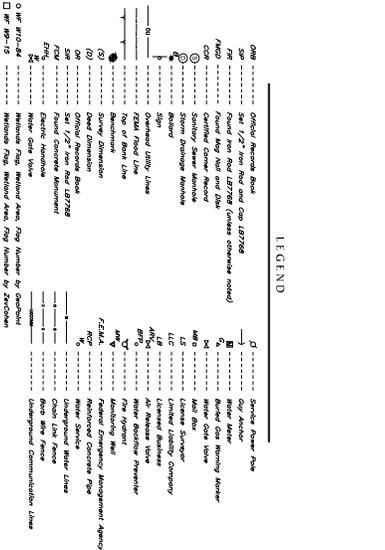
DESCRIPTION: (AS SURVEYED)

WALTON GREENSHIELD FAMILY

DESCRIPTION: The following portion of Section 35, Township 15 South, Range 32 East and Sections 1 and 2, Township 15 South, Range 32 East, Volusia County, Florida, more particularly described as follows:

COMMENT: The Center of Section 2, Township 15 South, Range 32 East, Volusia County, Florida, being more particularly described as follows:

COMMENT: The Center of Section 2, Township 15 South, Range 32 East, Volusia County, Florida, being more particularly described as follows:



SURVEYORS NOTES:

1. The survey was conducted on the 27th day of August, 2023, at approximately 10:00 AM.
2. The survey is subject to change should any boundary lines, easements or other matters be shown on the ground that are not shown on the plan.
3. The survey is subject to change should any boundary lines, easements or other matters be shown on the ground that are not shown on the plan.
4. The survey is subject to change should any boundary lines, easements or other matters be shown on the ground that are not shown on the plan.
5. All dimensions unless otherwise noted are survey dimensions.
6. All dimensions unless otherwise noted are survey dimensions.
7. The survey is subject to change should any boundary lines, easements or other matters be shown on the ground that are not shown on the plan.
8. The survey is subject to change should any boundary lines, easements or other matters be shown on the ground that are not shown on the plan.
9. The survey is subject to change should any boundary lines, easements or other matters be shown on the ground that are not shown on the plan.
10. The survey is subject to change should any boundary lines, easements or other matters be shown on the ground that are not shown on the plan.
11. The survey is subject to change should any boundary lines, easements or other matters be shown on the ground that are not shown on the plan.
12. The survey is subject to change should any boundary lines, easements or other matters be shown on the ground that are not shown on the plan.

SCHEDULE BII EXCEPTIONS:

1. Defects, liens, encumbrances, adverse claims or other matters, if any, existing, first appearing in the public records or otherwise subsequent to the date of the survey, shall not affect the validity of the survey.
2. Taxes and assessments for the year 2021 and subsequent years, when not yet due and payable.

Note: 2020 real estate taxes are paid for the following tax parcels: (NOT A SURVEY MATTER)

- 1. Parcel/Account No. 52353000010, 2020 Gross Amount \$123,112 (Parcel 1)
- 2. Parcel/Account No. 62010000010, 2020 Gross Amount \$1,941 (Parcel 2)
- 3. Parcel/Account No. 62020000010, 2020 Gross Amount \$4,849.92 (Parcel 2)

Any encumbrance, encumbrance, violation, variation, or adverse circumstance affecting the title that would be disclosed by an accurate and complete legal survey of the land.

Any lien, or right to a lien, or service, labor, or materials heretofore or hereafter furnished, imposed by law and not shown by the public records.

1. Defects or assessments which are not shown as existing liens in the public records.
2. Taxes and assessments for the year 2021 and subsequent years, when not yet due and payable.
3. Any lien provided by County Ordinance or Chapter 159, Florida Statutes, in favor of any city, town, village or port authority for unpaid service charges.
4. Any lien provided by County Ordinance or Chapter 159, Florida Statutes, in favor of any city, town, village or port authority for unpaid service charges.
5. Claim recorded in Official Records Book 3728, Page 1233; Claim recorded in Official Records Book 3876, Page 1288.
6. Subject to the operations set forth in that certain Mineral Quit Claim Deed and Assignment (with reservation of royalty to Grantor) recorded in Official Records Book 3449, Page 191; (AFFECTS - BLANKET OVER-ALL PARCELS)
7. Terms and conditions set forth in that certain Florida Easement, by and between Bay, Land, Inc., a Florida corporation, and D.S.C. Enterprises, Inc., a Delaware corporation, recorded in Official Records Book 3419, Page 923, as corrected by Florida Easement Correction Instrument recorded in Official Records Book 3474, Page 104; (DOES NOT AFFECT)
8. Terms and conditions set forth in that certain Florida Easement, by and between Palms Bay Homeowners Association, Inc., a Florida not-for-profit corporation, and D.S.C. Enterprises, Inc., a Delaware corporation, recorded in Official Records Book 3464, Page 26; (DOES NOT AFFECT)
9. Reservations in favor of The City of Daytona Beach, a municipal corporation, of all unpatented claims, interests in, and all intangibles, interests, claims, and claims, recorded in Official Records Book 3707, Page 483537; as amended by Corrective Quit-Claim Deed recorded in Official Records Book 3845, Page 4507; created pursuant to Section 270(11), Florida Statutes; (AFFECTS - SHOW ON SURVEY)
10. Standard Lease Agreement, by and between DSC of Newark Enterprises, Inc., a Delaware corporation, and National Advertising Company, LLC, recorded in Official Records Book 3449, Page 191; (AFFECTS - BLANKET OVER-ALL PARCELS)
11. Lease Agreement, by and between DCS of Newark Enterprises, Inc., a Delaware corporation, and National Advertising Company, LLC, recorded in Official Records Book 3449, Page 191; (AFFECTS - BLANKET OVER-ALL PARCELS)
12. Joint Development Agreement, by and between Bay, Land, Inc., a Florida corporation, and D.S.C. of Newark Enterprises, Inc., a Delaware corporation, dated April 28, 1995, as evidenced by Memorandum of Joint Development Agreement recorded in Official Records Book 4503, Page 1255; as amended by Memorandum of Amended and Restated Joint Development Agreement recorded in Official Records Book 6538, Page 3033; (DOES NOT AFFECT)
13. Easement, by and between DCS of Newark Enterprises, Inc., a Delaware corporation, and National Advertising Company, LLC, recorded in Official Records Book 3449, Page 191; (AFFECTS - BLANKET OVER-ALL PARCELS)
14. Lease Agreement, by and between DCS of Newark Enterprises, Inc., a Delaware corporation, and National Advertising Company, LLC, recorded in Official Records Book 3449, Page 191; (AFFECTS - BLANKET OVER-ALL PARCELS)
15. The insured land abuts a limited access highway and therefore legal rights of access to said highway are not insured. (NOT A SURVEY MATTER)

NO.	DATE	REVISION	BY	FOR
001	08/27/2023	ISSUED	DAVID W. MAUNDEL	FINAL SURVEY
002	08/27/2023	REVISION	DAVID W. MAUNDEL	ADDED SURVEY NOTES
003	08/27/2023	REVISION	DAVID W. MAUNDEL	ADDED SURVEY NOTES
004	08/27/2023	REVISION	DAVID W. MAUNDEL	ADDED SURVEY NOTES
005	08/27/2023	REVISION	DAVID W. MAUNDEL	ADDED SURVEY NOTES
006	08/27/2023	REVISION	DAVID W. MAUNDEL	ADDED SURVEY NOTES
007	08/27/2023	REVISION	DAVID W. MAUNDEL	ADDED SURVEY NOTES
008	08/27/2023	REVISION	DAVID W. MAUNDEL	ADDED SURVEY NOTES
009	08/27/2023	REVISION	DAVID W. MAUNDEL	ADDED SURVEY NOTES
010	08/27/2023	REVISION	DAVID W. MAUNDEL	ADDED SURVEY NOTES

Survey is Certified To:
**BLAYER, COMPANY and
 AT ORNEY**

www.geopoint.com
 1975 North Hards Road, Suite 100
 West Palm Beach, FL 33411
 Phone: (561) 840-0000
 Fax: (561) 840-0001

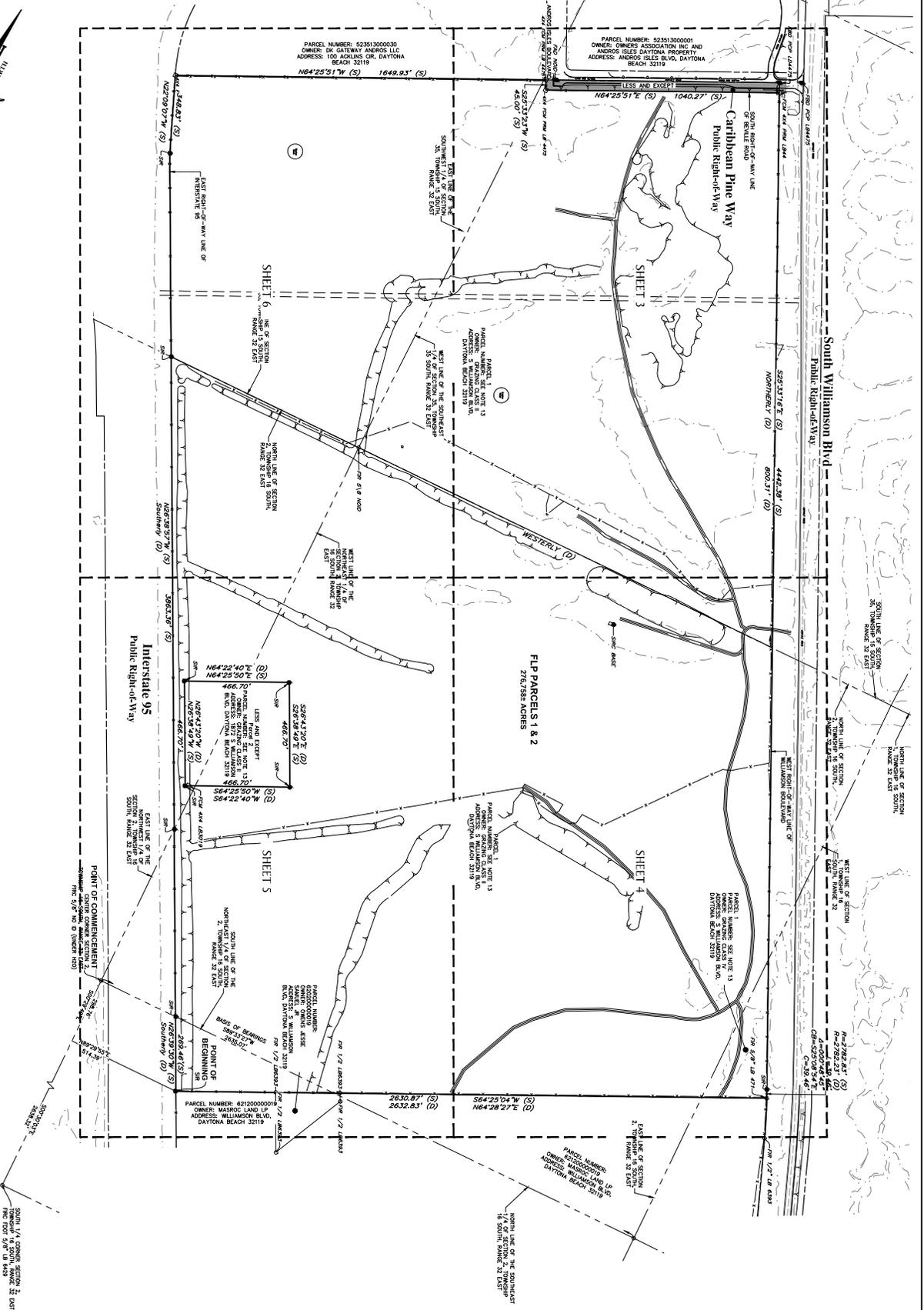
Geopoint
 SURVEYING, INC.

1975 North Hards Road, Suite 100
 West Palm Beach, FL 33411
 Phone: (561) 840-0000
 Fax: (561) 840-0001

Central Florida, 400 N. US Hwy 17
 Suite 100, Orlando, FL 32801
 Phone: (407) 251-0410
 Fax: (407) 251-0411

Section 35, Township 15 S, Range 32 E, and
 Section 1 and 2, Township 16 S, Range 22 E,
 Volusia County, Florida

DAVID W. MAUNDEL
 SURVEYOR
 STATE OF FLORIDA
 LICENSE NO. 12000
 EXPIRES 08/27/2025



www.geopointsurvey.com
 Licensed Address: Inc. 13-7768
 1374 North Florida
 Suncoast Blvd, Suite 100
 Palm Bay, FL 32909
 Phone: (888) 740-0540
 Fax: (888) 740-0540

West Florida
 7170 North Florida
 Palm Bay, FL 32909
 Phone: (888) 740-0540
 Fax: (888) 740-0540

Central Florida
 1374 North Florida
 Suncoast Blvd, Suite 100
 Palm Bay, FL 32909
 Phone: (888) 740-0540
 Fax: (888) 740-0540

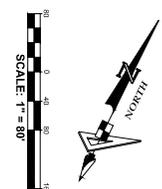
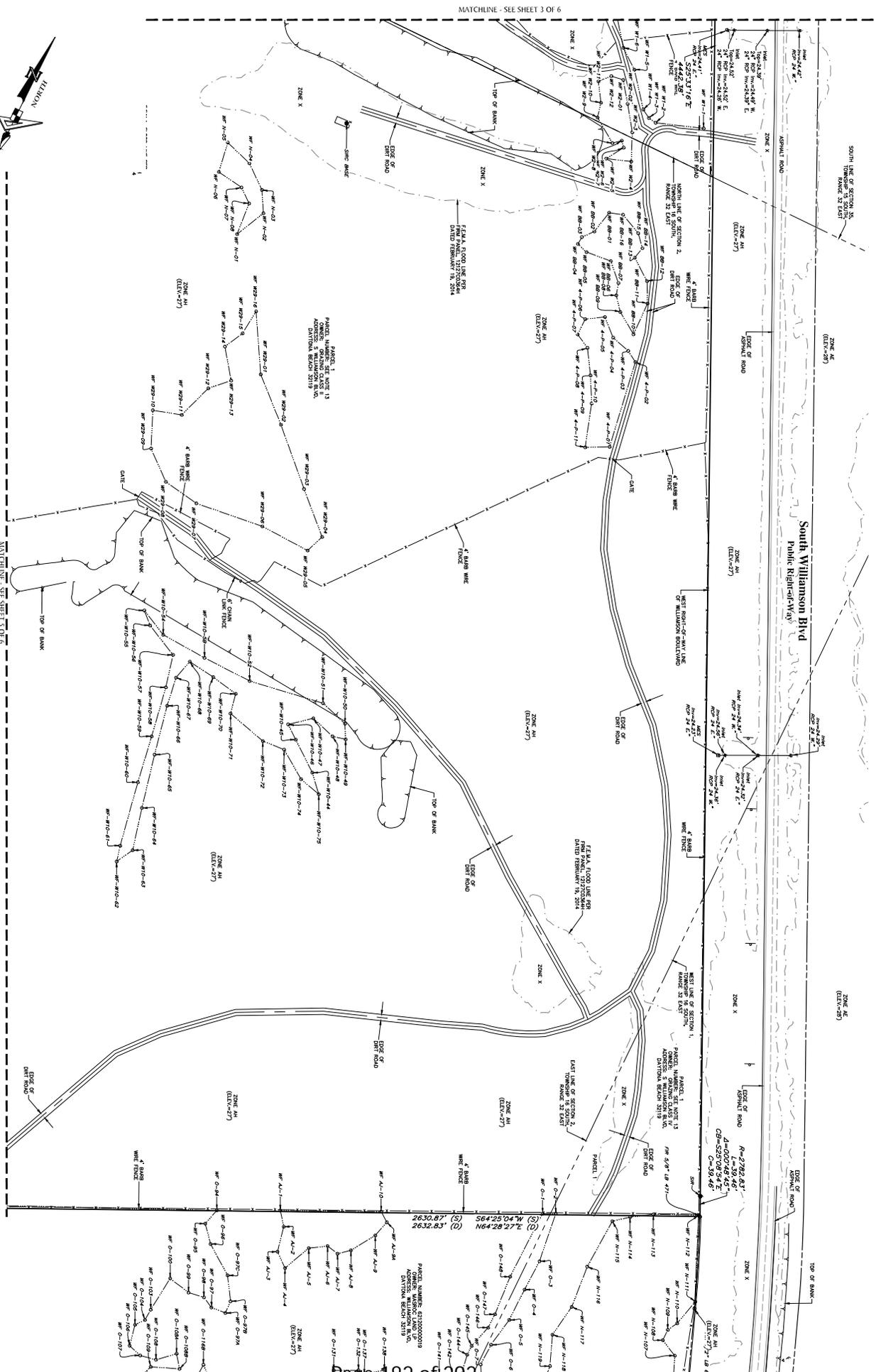
East Florida
 1374 North Florida
 Suncoast Blvd, Suite 100
 Palm Bay, FL 32909
 Phone: (888) 740-0540
 Fax: (888) 740-0540

GeoPoint
 Surveying, Inc.

ALTA NSPS SURVEY
 PREPARED FOR:
 ZEV COHEN
 LOCATED IN RANGE 22 E, and
 SECTION 35, TOWNSHIP 16 S, RANGE 22 E, and
 SECTION 1 and 2, TOWNSHIP 16 S, RANGE 22 E,
 Volusia County, Florida

Sec Sheet 1 for
 Certificates,
 Not valid without all sheets

SHEET 02 of 06



GeoPoint
SURVEYING, INC.

www.geopointsurvey.com
Federal Address: Inc. 13 778

1275 North Florida
Suncoast Blvd. Suite 100
Tampa, Florida 33619
Phone: (813) 282-2786

271 West Florida
Tampa, Florida 33619
Phone: (813) 282-2786

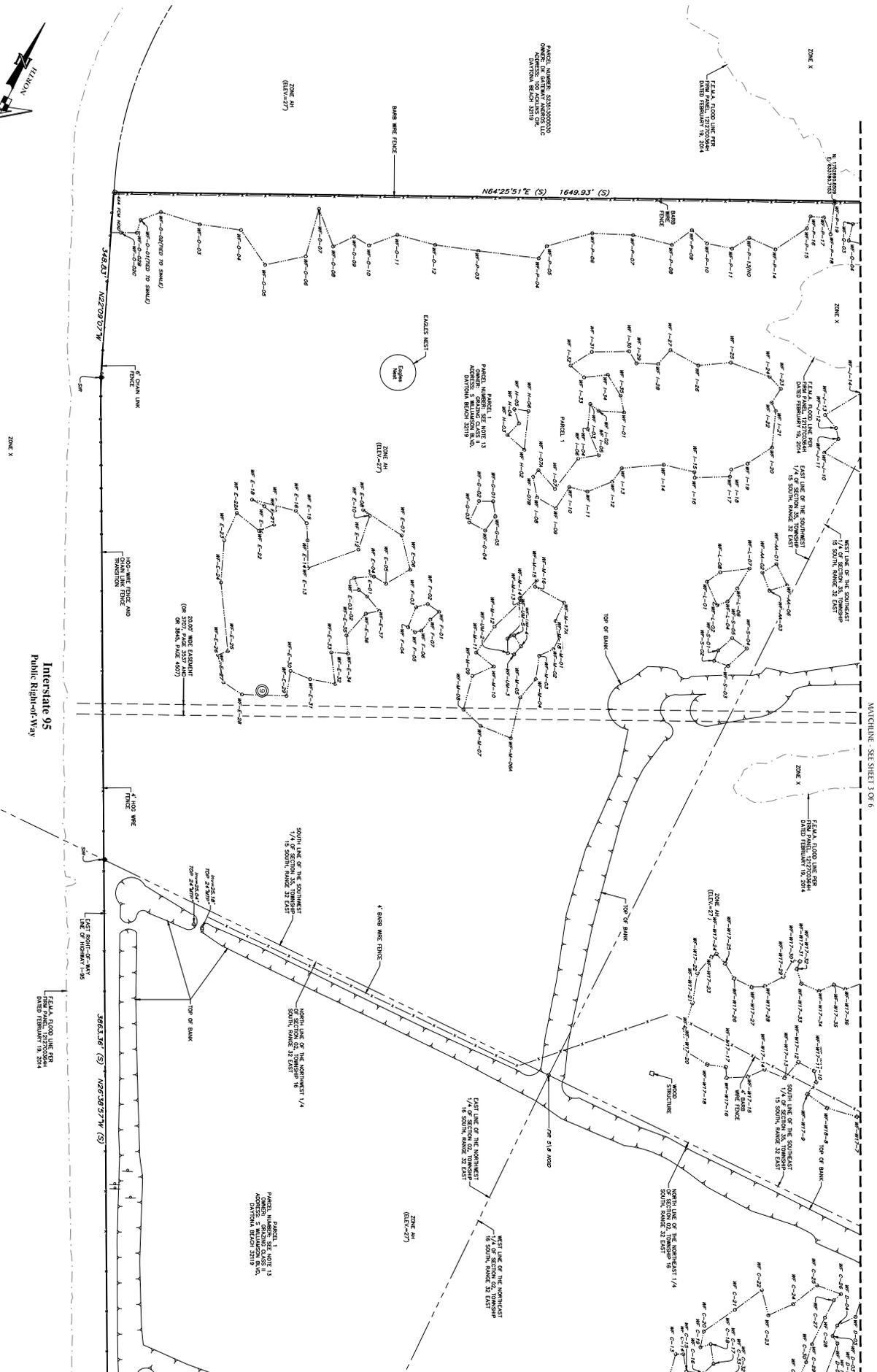
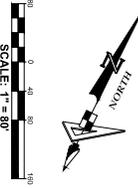
Central Florida
1400 Lake Nona Blvd. Suite 100
Orlando, Florida 32827
Phone: (407) 444-2720

East Florida
1200 S.W. 15th Ave. Suite 100
Miami, Florida 33135
Phone: (305) 444-2720

ALTANSPS SURVEY
PREPARED FOR:
ZEV COHEN
LOCATED IN RANGE 32 E, and
SECTIONS 1 and 2, TOWNSHIP 16 S, RANGE 22 E,
VOLusia County, Florida

See Sheet 1 for
Certifications,
Signatures,
and
Notes

SHEET 04 of 06



Interstate 95
Public Right-of-Way

MATCHLINE - SEE SHEET 1 OF 6

www.geopointsurvey.com
 Licensed Address: Inc. 13 778
 1727 North Florida
 South Road, Suite 100, Tallahassee, FL 32309
 Phone: (904) 740-0060

West Florida
 7170 West Florida
 Tallahassee, FL 32319
 Phone: (904) 740-2786

Central Florida
 4545 Lake Nona Blvd
 Altamonte Springs, FL 32714
 Phone: (407) 220-4400

East Florida
 1500 S. US Hwy 1
 Suite 105, Ft. Lauderdale, FL 33304
 Phone: (954) 444-2720

ALTAIANSPPS SURVEY
 PREPARED FOR:
 ZEV COHEN
 LOCATED BY: Range 32 E, and
 Sections 1 and 2, Township 16 S, Range 22 E,
 Volusia County, Florida

See Sheet 1 for
 Certifications,
 Statements,
 and all other
 information
 not shown
 on this
 sheet.

SHEET 0601 OF 06

Agenda Item 4C (Quasi-Judicial Hearing)
Planned Development-General (PD-G) Rezoning
DEV2024-378
Florida Logistics Center PD

STAFF REPORT

MEETING DATE: June 26, 2025, Planning Board
REPORT DATE: June 18, 2025
SUBJECT: DEV2024-378 Florida Logistics Center PD-G Rezoning
APPLICANT: Jessica Gow, Esq. Cobb Cole and Associates
OWNER: FL P40, LLC
STAFF: Emilio A. O'Brien, Senior Planner

SUMMARY OF REQUEST

Jessica Gow, Esq. of Cobb Cole & Associates, on behalf of FL P40, LLC (the property owner), requests approval to rezone a 276.5± acre site from Agricultural (AG) to Planned Development-General (PD-G) to accommodate a regional industrial park and associated mixed-use development.

As part of the PD-G rezoning, the applicant has requested the following waivers and LDC modifications:

- Landscaping – Requesting that no landscape islands or perimeter landscaping be required where the primary use of the parking area is for truck or trailer parking, staging, or storage.
- Signage – Requesting approval of a uniform sign program to allow cohesive, district-wide signage. Signage on the property shall comply with the Business District Sign Schedule in the Land Development Code (LDC), except as otherwise provided in the sign program established in the PD Agreement.

Staff recommendation: Staff finds that the requested rezoning of ±276.5 acres from Agricultural (AG) to Planned Development – General (PD-G), including the requested Land Development Code waivers and modifications, meets the criteria outlined in Sections 3.4.D.3 and 4.8.B of the Land Development Code. Staff recommends the Planning Board forward the rezoning application for the Florida Logistics Center PD to the City Commission with a recommendation of approval.

SITE INFORMATION

Location: The subject site is generally located south of Beville Road, west of Williamson Boulevard.

Parcel No(s): **523500000010, 620200000060, 6202000062, 620100000015**

Property Size: ± 276.5 acres

Existing Zoning: Agricultural (AG)

Existing Future Land Use: Existing Potential Parks (EX-PP), General Industrial (GI), Interchange Commercial (IC), Level 1 – Residential (L1-R), Mixed Use (MU), and Office Transition (OT)

Adjacent Land Use and Zoning: *Existing uses listed in the table below are not intended to be an all-inclusive list, but a general summary of types of uses near the subject property (see map series).*

	Existing Use(s)	Future Land Use Designation	Existing Zoning Classification
Site	Agriculture, Grazing	EX-PP, GI, IC, L1-R, MU, OT	AG
North	Andros Isles Apartments, Mobil Gas Station, RaceTrac Gas Station, Vacant Commercial	IC	PD-G (Andros Isles Villages), T-5
South	Vacant Residential	L1-R	AG, PD-G (Walkers Green)
East	Pelican Bay	GOLF, L1-R	PD-G (Pelican Bay)
West	Agriculture, Grazing, Interstate	MU	PD-G (Waypoint)



Aerial View of the Subject Site

PROJECT DESCRIPTION

The subject property comprises approximately ±276.5 acres of vacant, undeveloped land. The applicant is requesting a rezoning from Agricultural (AG) to Planned Development – General (PD-G), specifically identified as the Florida Logistics Center PD. This rezoning will enable the development of a regional industrial park with supporting commercial and residential uses.

Comprehensive Plan Amendment

To support the rezoning, a concurrent Large-Scale Comprehensive Plan Amendment (LSCPA) has been submitted to revise the Future Land Use Map (FLUM) designation. The amendment proposes converting the current designations—Existing Potential Parks (EX-PP), General Industrial (GI), Interchange Commercial (IC), Level 1 – Residential (L1-R), Mixed Use (MU), and Office Transition (OT)—to Mixed Use (MU) for the entire site, accommodating the proposed range of uses.

A development cap will be implemented to limit traffic impacts, restricting the project to no more than 3,000 external P.M. peak hour vehicle trips. This cap corresponds to a maximum of:

- 6,000,000 sq. ft. of office and light industrial uses
- 100,000 sq. ft. of retail space
- Up to 1,500 residential units (approximately 5.4 units/acre)

Approval of this PD rezoning is contingent upon approval of the referenced LSCPA.

Planned Development Overview

The PD Plan is conceptual, allowing flexibility in final site layout and land use distribution based on market conditions. Development will occur in multiple phases and must comply with the standards in the PD Agreement. Required infrastructure—including underground utilities, internal roadways, and stormwater systems—must meet all applicable city and regulatory standards.

Site Design and Maintenance

Parking, landscaping, and buffering will conform to the City’s Land Development Code (LDC). A Property Owner’s Association (POA) will maintain common areas, including amenities and landscaping. Architectural standards will ensure a unified, high-quality design, including consistent materials and appropriate screening of service/loading areas.

Environmental and Regulatory Compliance

The development will adhere to environmental regulations, including wetland preservation, floodplain management, and tree protection. Compliance must be demonstrated during site plan review and permitting.

Signage

Signage will follow a customized program allowing for monument, wall, project identification, and electronic display signs. Existing billboards may remain but cannot be reconstructed or replaced if substantially damaged or destroyed. See proposed sign program below:

Sign Type	Maximum Number of Sign	Maximum Sign Area Per Sign	Maximum Sign Height
Monument	4	3,000 sf.	45 ft.
I-95	1	3,000 sf.	85 ft.
Project Identification	1	680 sf.	85 ft.
Wall		10% of wall façade, 25% for facade facing I-95	
Outparcel Identification	1	56 sf.	8 ft.
Electronic Messaging Center (EMC)	Permitted within primary monument signs	50% of sign cabinet, allowed on two sides	

Additional Provisions

- Parcels within the property are not required to have a minimum frontage along improved roadways, provided adequate access is established per the PD Agreement.
- A cross-access road connecting the north and south of the property will be constructed, following the typical section included in the PD Plan (*Attachment A*). While its location may vary, the typical section must remain consistent.
- Tandem parking is allowed for residential units if spaces are dedicated to the same unit.
- If any part of the property used to meet required landscaping or tree preservation standards is taken or dedicated to the County for right-of-way or stormwater, that portion will still be credited toward meeting LDC requirements, and no replacement planting or mitigation will be required.
- No parking lot islands or building perimeter landscaping or tree preservation are required for areas primarily used for truck/trailer parking, staging, or storage.

PROJECT ANALYSIS

According to Section 3.4.D.3, *Site-Specific Zoning District Amendment Review Standards*, LDC, the City shall consider the criteria below when determining whether to adopt or deny a proposed Site-Specific Zoning District Map Amendment. In addition, the City Commission must find applications for a PD zoning district classification in compliance with Section 4.8.B, *General Standards for All Planned Development Districts*, LDC, before approving said PD zoning district classification. The analysis of the proposed Planned Development – General zoning classification is below.

Site-Specific Zoning District Map Amendment Review Standards

Per Section 3.4.D.3, LDC, in determining whether to adopt or deny a proposed Site-Specific Zoning District Map Amendment, the City shall consider the following:

a. Whether the applicant has provided, as part of the record of the public hearing on the application, competent substantial evidence that the proposed amendment:

i. Is consistent with and furthers the goals, objectives, and policies of the Comprehensive Plan and all other applicable City-adopted plans;

The property is located within an area targeted for industrial and mixed-use development as outlined in the City of Daytona Beach Comprehensive Plan. The proposed Planned Development-General rezoning aligns with key Comprehensive Plan objectives, including Objective 1.2.1, which encourages locating major traffic generators near thoroughfares with adequate capacity; Objective 1.3, supporting commercial land sufficient to meet local and regional demand; and Policy 1.4.1, emphasizing the availability of industrially zoned land with full urban services. The development's focus on industrial uses near the interchange of two interstate corridors supports economic growth and regional transportation connectivity. Therefore, staff finds the proposed rezoning consistent with and furthering the goals and policies of the Comprehensive Plan.

In support of the rezoning, the applicant has submitted a concurrent Large-Scale Comprehensive Plan Amendment (LSCPA) application to re-designate the site's Future Land Use to entirely Mixed Use (MU). Approval of the LSCPA is required prior to approval of the rezoning.

ii. Is not in conflict with any portion of this Code.

The applicant has requested specific Land Development Code (LDC) waivers, including tandem parking for residential uses, reduced landscaping requirements for truck/trailer parking areas, and a uniform signage program for cohesive site-wide signage. These requests are minor modifications intended to enhance design flexibility while balancing public benefits. The waivers do not conflict with the overall intent of the LDC but rather provide reasonable accommodations to support a master-planned industrial development. Staff finds the amendment, including the requested waivers, is not in conflict with the Code.

LDC Modifications & Project Details

- *Vehicular Use Area Landscaping* – The applicant requests a waiver for parking lot islands and building perimeter landscaping in areas primarily used for truck or trailer parking, staging, and storage, to avoid landscaping in storage areas.

- *Signage* – The Applicant requests a waiver from the LDC to allow for a uniform sign program across the entire property, as set forth in the PD Agreement. Under this request, the amount and type of signage on the property will generally conform to the Business District Sign Schedule specified in the LDC, except where modified by the custom sign standards established in the PD Agreement.

If the requested LDC modifications are granted, the proposed PD agreement will be consistent with the LDC, and the proposed amendment will meet this criterion.

iii. Addresses a demonstrated community need;

The project responds to a regional market demand for industrial uses within the City, consistent with City policies to provide industrial land with urban services. It supports economic development, creates job opportunities, and increases the City's ad valorem tax base, benefiting the local community and broader metropolitan area.

iv. Is compatible with existing and proposed uses surrounding the subject land, and is the appropriate zoning district for the land;

The property is located near existing industrial and production uses, and the proposed regional industrial park complements these land uses. The Planned Development-General zoning allows flexibility to accommodate mixed uses while ensuring compatibility. Its location near interstate corridors further supports the appropriateness of the zoning district.

v. Would result in a logical and orderly development pattern;

The master planned approach enabled through the Planned Development process allows cohesive and orderly development, avoiding piecemeal or incompatible uses. The development benefits from existing infrastructure and urban services, and the requested LDC waivers provide necessary flexibility for a coordinated site design.

vi. Would not adversely affect the property values in the area;

The development is expected to positively influence property values by introducing well-planned industrial and commercial uses that support local economic growth and job creation. The use is compatible with surrounding industrial areas and enhances the area's attractiveness for future investment.

vii. Would result in development that is adequately served by public facilities (roads, potable water, wastewater, solid waste, storm water, schools, parks, police, and fire and emergency medical facilities); and

The site is served by comprehensive urban services, including water, wastewater, solid waste, stormwater management, and emergency services. Its proximity to major roadways supports transportation needs. The PD agreement ensures compliance with infrastructure and public facility requirements.

viii. Would not result in significantly adverse impacts on the natural environment including, but not limited to, water, air, noise, storm water management, wildlife, vegetation, wetlands, and the natural functioning of the environment; and

An environmental assessment for the site identified a substantial area of wetlands and surface waters, with proposed impacts affecting a significant portion of these resources, including some secondary wetlands. The estimated functional loss has been quantified

using an established assessment method. All impacts will require appropriate regulatory approvals.

The project is unlikely to adversely affect protected species; however, a comprehensive survey for certain wildlife species is required prior to construction. If any protected species or their habitats are identified, appropriate relocation or mitigation measures will be implemented under the necessary permits. Monitoring and incidental take permits for other sensitive species may also be required.

Although the project involves considerable wetland impacts, regulatory oversight and mitigation measures are in place to minimize environmental harm. Therefore, the proposed rezoning is not expected to result in significant adverse environmental impacts.

b. If the applicant demonstrates that the proposed amendment meets the criteria in subparagraph [a] above, whether the current zoning district designation accomplishes a legitimate public purpose.

The proposed Planned Development-General zoning with approved LDC modifications better accommodates a master-planned, mixed-use industrial park that aligns with City goals, enhances economic development opportunities, and provides public benefits, thus accomplishing a legitimate public purpose.

Planned Development Zoning Districts Review Standards

The City Commission must find applications for a Planned Development (PD) zoning district classification in compliance with the standards outlined in Section 4.8.B, *General Standards for All Planned Development Districts*, LDC, before approving said PD zoning district classification. The analysis of the proposed PD, including the PD Agreement and Plan, is below.

1. PD Plan/Agreement

The PD Plan/Agreement includes an overall development plan for the property, as shown in *Attachment A*. The applicant has also requested modifications to the LDC in conjunction with the proposed development plan for the property, as stated earlier in this report and in the submitted Waiver & Benefits Letter (*Attachment B*). The PD Plan/Agreement is in compliance with the standards of this subsection.

2. Consistency with City Plans

If adopted by the City Commission, the PD zoning district designation and the PD Plan/Agreement will be consistent with the Comprehensive Plan.

3. Compatibility with Surrounding Areas

The proposed development plan is compatible with the surrounding areas. The waiver/benefit letter notes that the project's industrial uses are appropriately scaled and located to support the City's growth and complement existing industrial and production uses nearby. Additionally, the site's proximity to major interstate corridors supports its function as a regional industrial park, fitting well within the existing land use pattern. The plan also allows for a mixture of uses, including potential commercial and residential, which aligns with the broader community development goals in the area.

4. Development Phasing Plan

Subdivision platting will likely be utilized to coordinate infrastructure and the internal road network. This implies that the development will be subdivided and constructed in stages to ensure proper coordination of roads, utilities, and access. Therefore, while a detailed phasing schedule is not specified, the plan supports a phased and platted approach to development.

5. Conversion Schedule

N/A

6. On-Site Public Facilities

The proposed development will provide on-site public facilities necessary to accommodate the uses proposed. The project includes infrastructure improvements for water, sewer, and drainage systems, ensuring adequate capacity and service reliability. It also incorporates internal road networks designed for efficient traffic circulation, with coordinated access and landscaping to support safe and functional public spaces.

7. Uses

The following uses are proposed as permitted uses on the property per the PD Agreement. All uses are subject to compliance with the use-specific standards in Article 5 of the LDC. The uses provided here are a general summary of the proposed uses in the PD Agreement; additional requirements or conditions may be applicable to the uses as stated in the PD Agreement and LDC.

- **Permitted Principal Uses**

- **Agricultural Uses**

- Existing agricultural operations located within the Property may be permitted to continue until such time that the portion of the Property used for such use is redeveloped for a separate principal use. These uses may include grading or creation of pastures to support agricultural uses.

- **Commercial Uses**

- **Office Uses**

- 1. Business service offices
 - 2. Contractor's office
 - 3. Professional services offices
 - 4. Other office facility

- **Business Support Service Uses**

- 1. Business service center
 - 2. Conference or training center
 - 3. Employment agency
 - 4. Parcel services
 - 5. Telephone call center
 - 6. Travel agency

- **Retail Sales and Service Uses**

- 1. Antique store
 - 2. Art gallery
 - 3. Art, craft, music, dance, photography, or martial arts studio school
 - 4. Bank or financial institution with or without drive-through service

5. Book or media shop
6. Cigar lounge
7. Convenience store (and accessory car wash as permitted use)
8. Drug store or pharmacy with or without drive-through service
9. Florist shop
10. Furniture or appliance store
11. Gift shop or stationary store
12. Grocery store
13. Home and building supply center
14. Jewelry store
15. Large retail sales establishment
16. Lawn care, pool, or pest control service
17. Personal and household goods repair establishment
18. Personal services establishment (including massage, general spa services, health club)
19. Shopping center
20. Other retail sales establishment
- **Motor Vehicle Sales and Service Uses**
 1. Fleet service repair
 2. Parking lot (as a principal use)
- **Industrial Uses** (See limitations in *Attachment C*)
 - **Warehouse and Freight Movement Uses**
 1. Warehouse, storage and distribution
 2. Self-storage/mini-warehouse facility (including Boat/RVV storage, as an accessory use)
 3. Building, heating, plumbing, or electrical contractor's storage yard
 4. Carpet cleaning or dyeing facility
 5. Educational, scientific, or industrial research and development
 6. Research, design, and development laboratories related to racing industry
 7. Parts, manufacturing, and assembly facilities relating to racing industry
 8. Electric motor repair, machine shop, or tool repair shop
 9. General industrial services
 10. Metal-working, welding, plumbing, gas, steam, or water pipe fitting
 11. Motion picture studio
 12. Printing or other similar reproduction facility
 13. Repair of scientific or professional instruments
 14. Woodworking
 15. Bakery
 16. Brewery, winery, or distillery
 17. Cabinet or furniture manufacturing
 18. Craft distillery
 19. Hydroponic garden facility
 20. Manufacturing, assembly, or fabrication, light (including datacenters and similar uses)
 21. Outdoor storage (as a principal use)

- **Institutional Uses**
 - **Utility Uses**
 1. Solar energy collection system (as a principal use)
 2. Utility use, major
 3. Utility use, minor
- **Residential Uses**
 - **Household Living Uses**
 1. Multifamily dwelling
 2. Multifamily complex
 3. Upper story dwelling (above nonresidential use)

8. Densities/Intensities

Maximum residential units 1,500 = 5.42 dwelling units per acre

9. Dimensional Standards

The following lot development criteria shall apply to the property:

- **Lot Development Criteria**
 - **Industrial Uses**
 - Maximum building height: 100'
 - Maximum F.A.R.: 3.0
 - Minimum lot area: 5,000 sq. ft.
 - Minimum lot width: 50'
 - Minimum lot depth: 100'
 - Minimum perimeter building setbacks:
 1. Side: 7.5'
 2. Front: 25'
 3. Rear: 25'
 4. Internal: 0'
 - Maximum building coverage: 70%
 - Minimum open space: 20%
 - Maximum impervious surface area: 80%
 - Slopes within any dry retention and wet detention pond(s) shall be 4:1 without a fence.
 - Dry and/or wet retention areas shall count toward the minimum open space requirement, provided they support passive recreation uses by providing access and pedestrian elements such as paths or benches.
 - **Residential Uses**
 - Maximum building height: 50'
 - Maximum Density: 1,500 units
 - Minimum lot area: 5,000 sq. ft.
 - Minimum lot width: 50'
 - Minimum lot depth: 100'
 - Minimum perimeter building setbacks:
 1. Side: 7.5'
 2. Front: 25'
 3. Rear: 25'
 - Minimum building spacing:
 1. 40 ft front-to-front, front-to-rear, or front-to-side

- 2. 25 ft side-to-side
- Maximum building coverage: 70%
- Minimum open space: 20%
- Maximum impervious surface area: 80%
- Slopes within any dry retention and wet detention pond(s) shall be 4:1 without a fence.
- Dry and/or wet retention areas shall count toward the minimum open space requirement, provided they support passive recreation uses by providing access and pedestrian elements such as paths or benches.
- **Commercial Uses**
 - Maximum building height: 50'
 - Maximum F.A.R.: 3.0
 - Minimum lot area: 5,000 sq. ft.
 - Minimum lot width: 50'
 - Minimum lot depth: 100'
 - Minimum perimeter building setbacks:
 - 5. Side: 7.5'
 - 6. Front: 25'
 - 7. Rear: 25'
 - 8. Internal: 0'
 - Maximum building coverage: 70%
 - Minimum open space: 20%
 - Maximum impervious surface area: 80%
 - Slopes within any dry retention and wet detention pond(s) shall be 4:1 without a fence.
 - Dry and/or wet retention areas shall count toward the minimum open space requirement, provided they support passive recreation uses by providing access and pedestrian elements such as paths or benches.

10. Development Standards

All development in a PD district shall comply with the development standards in Article 6: Development Standards, and Article 7: Subdivision Standards, or any modifications of those standards established in the PD Plan/Agreement as consistent with City plans, the objective of the particular type of development standard, the purpose of the particular PD district, and any additional limitations or requirements set forth in Sections 4.8.C, LDC.

Neighborhood Meeting

The applicant conducted a neighborhood meeting on August 28,2024, as required by the LDC. A summary of the neighborhood meeting prepared by the applicant is in *Attachment D*.

RECOMMENDATION

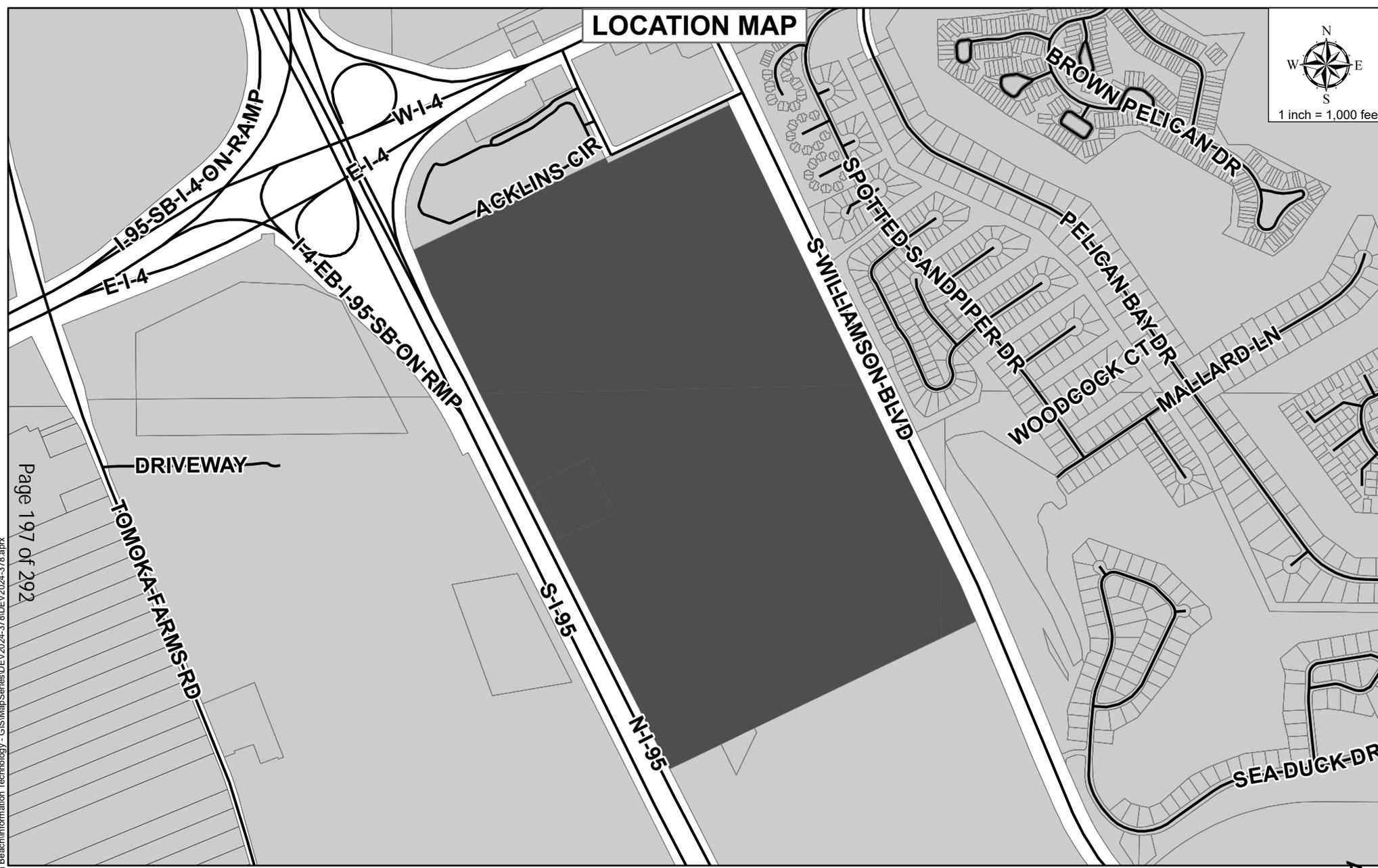
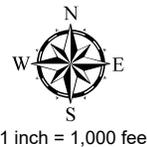
Staff finds that the requested rezoning of ±276.5 acres from Agricultural (AG) to Planned Development – General (PD-G), including the requested Land Development Code waivers and modifications, meets the criteria outlined in Sections 3.4.D.3 and 4.8.B of the Land Development Code. The proposed rezoning is consistent with and furthers the goals, objectives, and policies of the Comprehensive Plan, supports a demonstrated community need, and is compatible with surrounding uses. The Planned Development designation will facilitate a cohesive, master-planned industrial park with mixed-use components that align with City plans and promote orderly development.

Staff recommends the Planning Board forward the rezoning application for the Florida Logistics Center PD, encompassing ±276.5 acres generally located south of Beville Road and west of Williamson Boulevard, to the City Commission with a recommendation of approval.

A majority vote by Planning Board members present and voting is required to forward a recommendation to the City Commission.

This item is tentatively scheduled for first reading and transmittal to the City Commission on August 6, 2025. The second reading and public hearing will be scheduled at the next available City Commission meeting following reviews by the Florida Department of Commerce (FloridaCommerce) and the Volusia Growth Management Commission (VGMC) for the associated LSCPA.

LOCATION MAP



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DEV2024-378 FLORIDA LOGISTICS PD-G LOCATION MAP

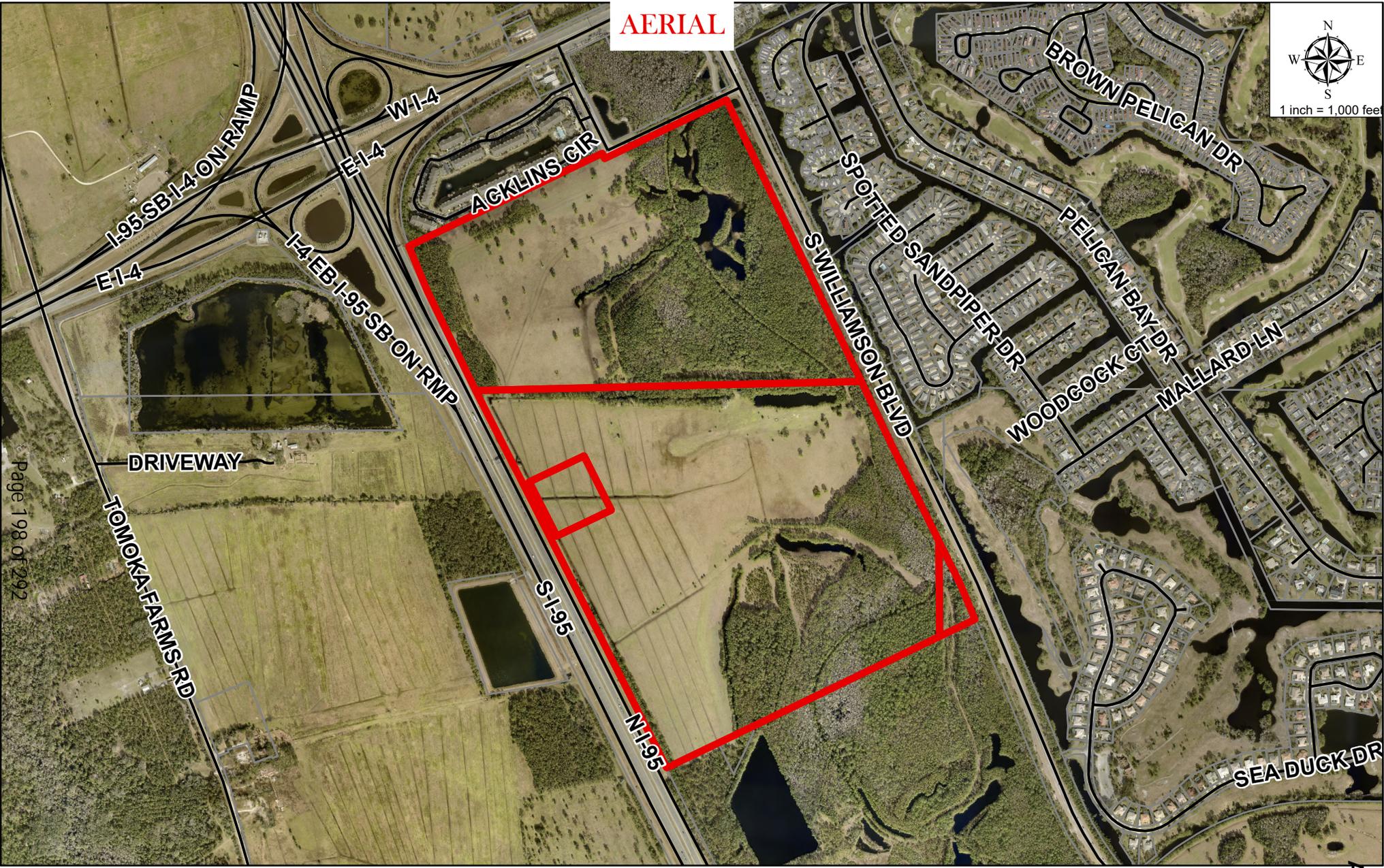
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Agenda Item #4.C.

AERIAL



1 inch = 1,000 feet



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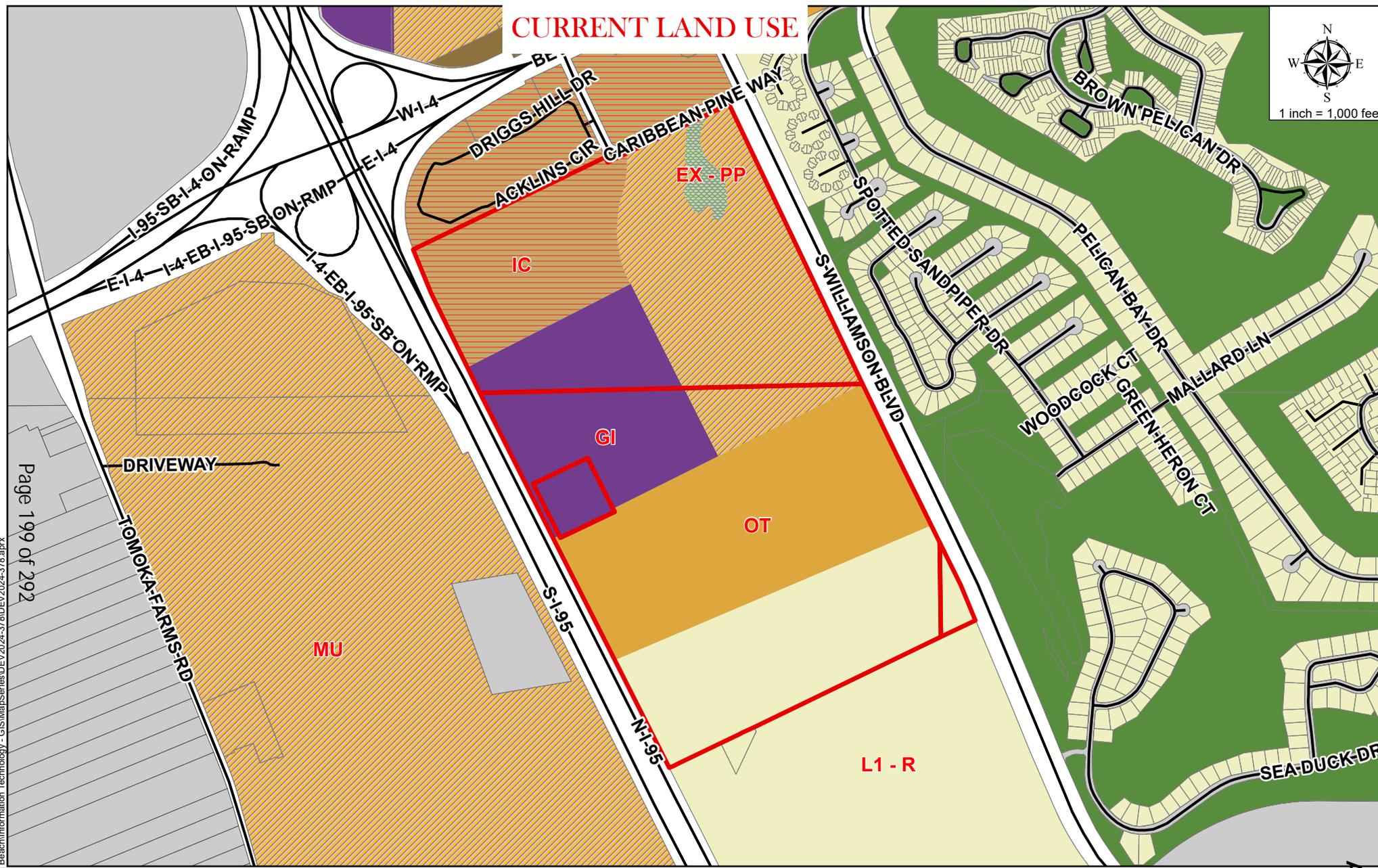
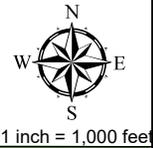


DEV2024-378 FLORIDA LOGISTICS PD-G AERIAL MAP

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Agenda Item #4.C.

CURRENT LAND USE



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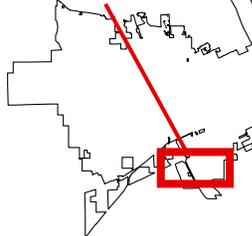


DEV2024-378 FLORIDA LOGISTICS PD-G CURRENT LAND USE MAP

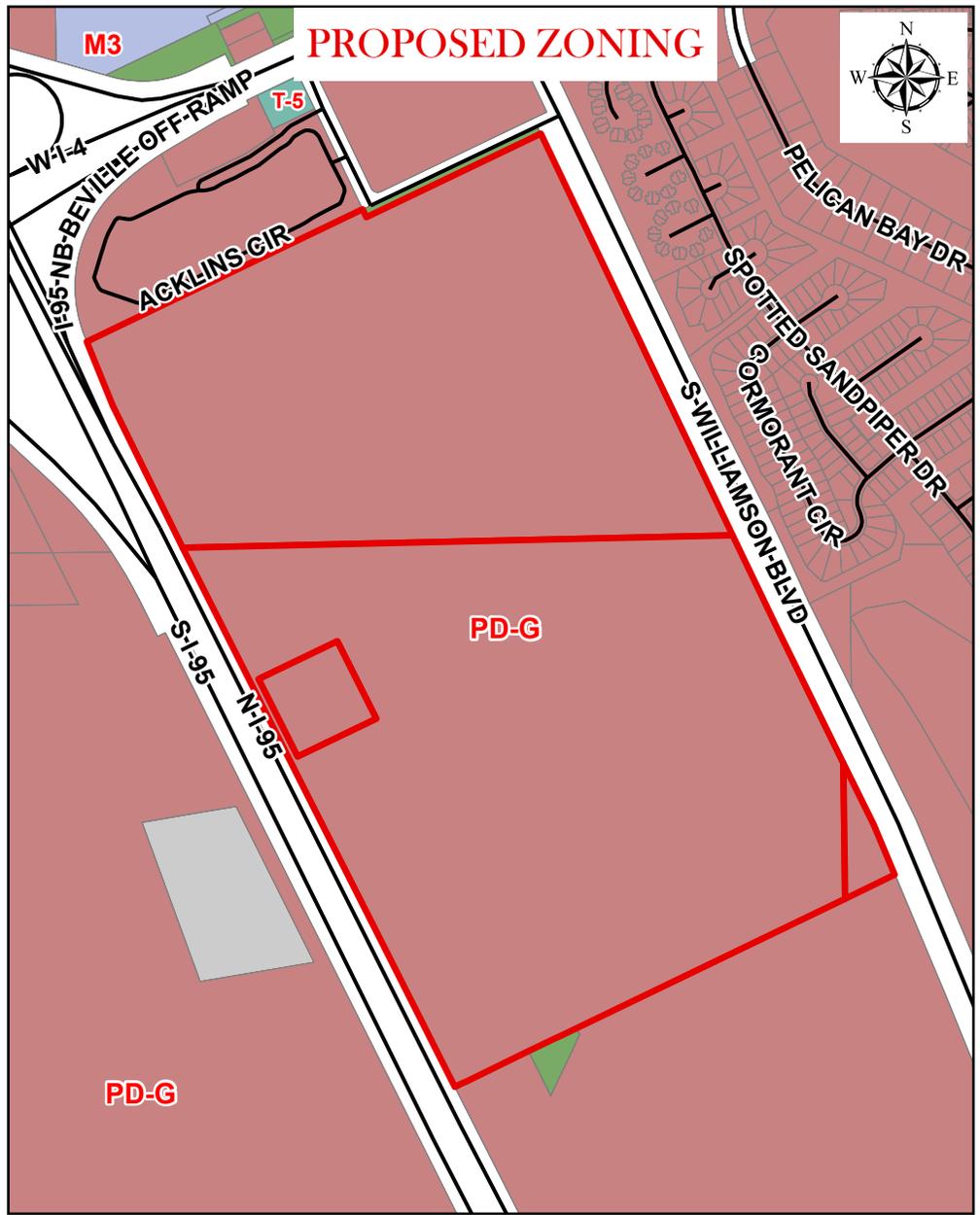
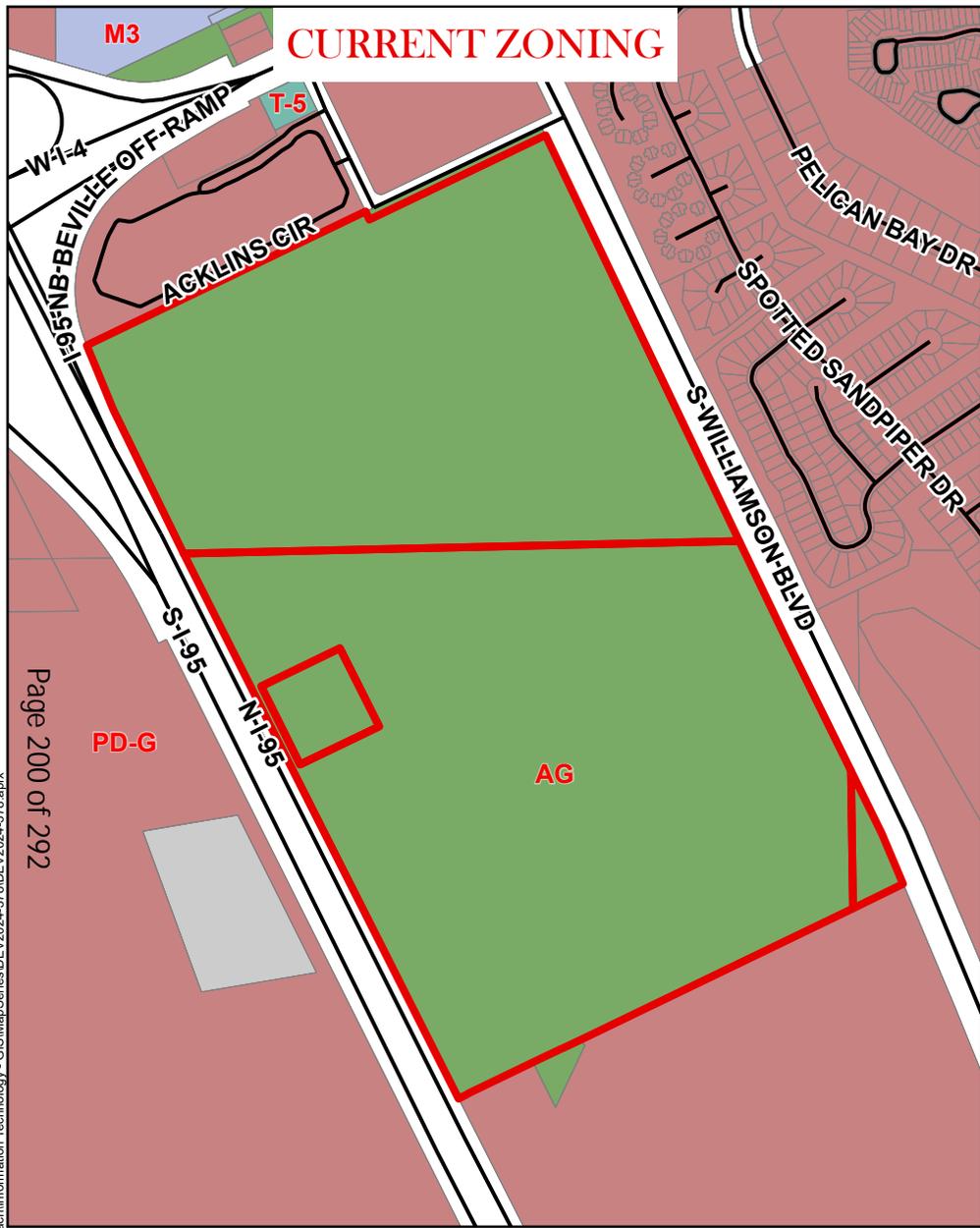
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FOCUS AREA



Agenda Item #4.C.



1 inch = 1,000 feet

1 inch = 1,000 feet

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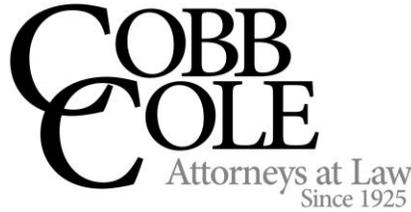
**DEV2024-378
 FLORIDA LOGISTICS PD-G
 CURRENT AND PROPOSED
 ZONING MAP**

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FOCUS AREA

Agenda Item #4.C.

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Robert A. Merrell III
John P. Ferguson
Mark A. Watts
Heather Bond Vargas
Michael J. Woods
Raymond L. Schumann
Kathleen L. Crotty
Michael O. Sznapstajler
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William M. Cobb (1881-1939)
Thomas T. Cobb (1916-2004)
W. Warren Cole, Jr. (1926-2008)

October 28, 2024

VIA HAND DELIVERY

Mr. Dennis Mrozek
Planning Director
City of Daytona Beach
301 S. Ridgewood Avenue, Room 240
Daytona Beach, FL 32114

Re: Waiver & Benefits Letter
Florida Logistics Center Planned Development-General Rezoning

Dear Mr. Mrozek:

As you know, Cobb Cole has the pleasure of representing FL P40, LLC (Applicant”) in connection with their application for Planned Development-General rezoning on their property located along Williamson Boulevard in Daytona Beach, Florida (the “Property”). The Applicant intends to develop the property for industrial uses, with the potential for supporting commercial or residential use types. As required by the City of Daytona Beach’s Land Development Code (“LDC”), this letter will detail the public benefits of the development as well as the proposed LDC modifications.

Development Summary/Public Benefits. The project will develop existing, vacant lots on the Property for a potential mixture of uses, centered around the proposed development of a regional industrial park. This proposed development will foster economic development within the area and result in an increased ad valorem tax base for the City of Daytona Beach while providing a range of industrial use opportunities in an appropriate scale and location to support the projected growth of our City. This use complements the location of the Property at the intersection of two major interstate corridors and will help fill a market demand and complement surrounding industrial and production uses. The proposed project is also consistent with the following land use policies and objectives:

Objective 1.2.1: The Land Development Code shall be maintained in a manner that will cause future major traffic generators to be located in close proximity to thoroughfares, which have the capacity to carry the additional traffic generated by such developments. All future rezoning shall be consistent with this policy.

Response: The proposed development will provide mixed uses, focused around a proposed industrial use, in close proximity to an interchange of two interstate roadway systems within our

community. The interchange allows for the convenient transportation of goods and allocation of services.

Objective 1.3 Commercial Land: The City's supply of commercial land shall be sufficient to accommodate both local demand and the demand for regional facilities, since the City of Daytona Beach is the central city in Halifax metropolitan area.

Response: The proposed development will provide additional industrial and commercial use opportunities that will support both local and regional demands. The property is currently allocated for a variety of use types, and the proposed change will allow for the orderly master development of the Property.

Policy 1.4.1 The City shall provide industrially zoned vacant land available with full urban services in greater amounts than previous markets have absorbed.

Response: The proposed industrial development is surrounded by comprehensive urban services that are existing and in place to support the proposed industrial operations and attract potential businesses.

LDC Modifications. The Applicants recognize the importance of the standards set forth in the LDC and have made every reasonable effort to bring forward a project consistent with the LDC. However, the general application of the LDC, which is designed to apply on a single project basis, would constrain the potential development and limit the ability to create a cohesive and master planned project. As more particularly described below, the Project requires certain minor code waivers to allow for flexibility in design and development, which are balanced against the public benefits of the proposed development.

Article 6, Section 6.2 – Off-street Parking

Section 6.2.C.1. of the Land Development Code sets forth required parking for different use types. The Applicant is requesting that tandem parking be permitted for residential uses within the Planned Development, provided that such spaces are dedicated for use by the same residential unit.

Section 6.4.D of the Land Development Code requires Vehicular Use Area Landscaping to be installed within the property. The Applicant is requesting that no parking lot islands or building perimeter landscaping shall be required where the primary use for the parking lot is truck or trailer parking, staging, and storage. This request is to allow the applicant to avoid landscaping areas that will be used primarily for storage functions.

Article 6, Section 10 – Signage

The Applicant is requesting a waiver from the LDC to allow for a uniform sign program for the property, as set forth in the PD Agreement, including the ability to provide off-site signage benefitting the properties located within the Planned District. The Applicant is requesting a uniform sign program to allow for a cohesive signage program across the site, in lieu of applying individual zoning district sign schedules.

This project will provide additional industrial use opportunities, which will support the growing residential and professional development in the area. Through the Planned Development process, the Applicant will be able to bring a well-planned and visually pleasing development that meets the requirements and policies of the Comprehensive Plan. The Applicants respectfully request approval of the Planned Development-General zoning and the proposed modifications.

Should you have any questions or concerns, please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Jessica Gow', is positioned above the typed name.

Jessica Gow, Esq.

Direct Dial (386) 323-9225

Email Jessica.Gow@CobbCole.com

Exhibit C

Use Definitions

Industrial Use – A use that promotes light manufacturing, assembly and fabrication uses, warehouse use, production, and wholesale uses. Industrial uses may include using various tools, machines, and computers and sensing technologies, making raw materials or growing goods for use or sale, storing goods that may include raw materials, packing materials, spare parts, components, or finished goods associated with aquaculture and food production, employing water filtration and recirculating systems, research and development facilities, general industrial service uses, and providing fulfillment services, which include selecting, receiving, packaging, shipping and providing customer service for products and services. Industrial use excludes heavy industrial use, such as heavy manufacturing, assembly, and fabrication uses, as well as other high-impact industrial and industrial service uses (asphalt plants, concrete plants, paving operations, heavy equipment repair and servicing), day labor services, outdoor storage as a principal use, and waste-related uses as well as uses that are generally incompatible with other uses or in other zoning districts (e.g., adult uses, body piercing establishments, tattoo establishments, and sport shooting and training ranges).



Daytona Beach • DeLand

Memorandum

Post Office Box 2491

Daytona Beach, Florida 32115-2491

(386) 255-8171

CobbCole.com

To: Dennis Mrozek, Planning Director, The City of Daytona Beach

From: Jessica Gow, Esq.

Date: September 11, 2024

Client/Matter #: FL P40, LLC – Florida Logistics Center
DEV2024-378 and DEV2024-379

Subject: Neighborhood Meeting Summary – August 28, 2024

A neighborhood meeting for the proposed development was held at the Daytona Autograph Hotel, located at 1870 Victory Circle., Daytona Beach, FL 32114 on August 28, 2024, at 6:00 p.m..

Jessica Gow and Mark Watts Cobb Cole were in attendance to explain the request. Kris Rowley with Zev Cohen and Associates were in attendance to address engineering concerns, Matthew West and Kirsten Fawcett with Lassiter Transportation Group were in attendance to address transportation impacts, and Larry Adams and Scott Webber with ACi Architecture were in attendance for design questions. Several interested citizens attended the meeting. See the attached sign-in sheet. Ms. Gow and Mr. Watts gave an overview of the request to the interested neighbors – a copy of the presentation materials is included herein for your records.

Many of the residents noted a general concern over the development of the site as it related to traffic and stormwater impacts, as discussed herein. The development team explained the proposed mixed use nature of the site, with the zoning focused around an industrial project but allowing for supporting retail, office, and residential uses, and explained the proposed cap on impacts from the site by only permitting development equal to 3,000 P.M. peak hour trips, while the current land use on the property supported over 37,000 P.M. peak hour trips.

Several neighbors voiced their concern over the potential traffic that the project could cause on Williamson Boulevard, and requested information on the County's plans to widen this roadway. Mr. Watts informed them that Volusia County has the design of the expansion of Williamson Boulevard from Madeline Avenue north to Beville Road in progress and are currently undertaking review of potential stormwater locations to support the widening, an effort that this property was supporting by working to partner with the County on stormwater siting within the site. It was explained that construction of the Williamson widening project was funded and expected to

commence before the project impacts. Ms. Gow informed the residents that access review and configuration will be discussed and coordinated with the City, County, and FDOT in the future, and that access points at this time were conceptual.

Mr. West provided an overview of the traffic review completed for the site and the future full-scale Traffic Impact Analysis that the site would undergo when a project moves forward to site plan review. Ms. Gow also stated that the project is already under early technical review of an access management plan for property under the City's Comprehensive Plan to determine what potential improvements to the adjacent roadway network would be required to support the proposed full buildout of the project.

Stormwater regulation was another concern raised for residents based on previous hurricane impacts and water retention seen during the rainy season. Mr. Rowley provided an overview of the planning for stormwater within the site and noted that based on the project's outflow to the Tomoka River, an impaired water body, higher stormwater standards would apply to the site.

Mr. Rowley also informed the residents that while the current project drains partially across Williamson and into the B-19 canal, the proposed drainage design would remove this flow and direct all stormwater to the east towards I-95 and out to the Tomoka River. Ms. Gow noted that in connection with a project in Port Orange, a floodway study was being conducted close to this site that would provide valuable data and insight that could help inform stormwater planning within the overall region.

One resident asked about the timeline for when construction might begin on the project. Ms. Gow stated that if approved, the earliest timeframe for construction would be within initial activities occurring within approximately 12 to 18 months.

Ms. Gow and Mr. Watts thanked the neighbors for their attendance.

We have included the list of property owners to whom we sent the Invitation to Neighborhood Meeting, a copy of the Invitation, and a photo of the sign we posted on the property.

We look forward to this item being scheduled for the Planning Board and the City Commission at their next available meetings.

Thanks.

FLORIDA LOGISTICS CENTER PLANNED DISTRICT AGREEMENT

AND

LARGE-SCALE COMPREHENSIVE PLAN AMENDMENT

DEV2024-378 AND 379

NEIGHBORHOOD MEETING

The Daytona, Autograph Collection Hotel

1870 Victory Circle, Daytona Beach, FL 32114

August 28, 2024

6:00 P.M.

SIGN IN SHEET

<u>NAME</u>	<u>ADDRESS</u>	<u>PHONE OR EMAIL</u>
-------------	----------------	-----------------------

Jessica Gow	1 Daytona Blvd	386-323-9226
-------------	----------------	--------------

Mark Watts	231 W. Woodland	386-323-9226
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Brewerton Clark	785 Pelican Bay	386 249-0431
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Harry Lloyd	757 Pelican Bay Dr, D.B.	386-852-8564
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Dwight & Dolores Black	136 Duck Hawk Circle DB	ddbblack@bellsouth.net
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Charles Loucra	HomeTown News	386 230 0708
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Kris Hawley	300 Interchange Blvd	386 677 2482
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Paul & Steve Jones	58 Cormorant Cir D.B.	407-687-4610
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Rick Brown	1508 CRESTENT RIDGE RD	4075928794 V+TXT
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FLORIDA LOGISTICS CENTER PLANNED DISTRICT AGREEMENT

AND

LARGE-SCALE COMPREHENSIVE PLAN AMENDMENT

DEV2024-378 AND 379

NEIGHBORHOOD MEETING

The Daytona, Autograph Collection Hotel

1870 Victory Circle, Daytona Beach, FL 32114

August 28, 2024

6:00 P.M.

SIGN IN SHEET

NAME

ADDRESS

PHONE OR EMAIL

Kirsten Fawcett 395 Bill France Blvd Apt 92 DBFL 32114 LG

SCOTT WEBBER 955 N. PENNSYLVANIA AVE WINTER PARK 32879
407-740-8405

Yolanda Figueroa 100 Acklins Circle DB, FL 32119 386-492-2942

Anne Ruby 137 Park Ave DB aeruby@gmail.com

Craig Poppe 52 CORMORANT CRL. PN1TRAINING@GMAIL.COM

Scott W. Cichon
Robert A. Merrell III
John P. Ferguson
Mark A. Watts
Heather Bond Vargas
Michael J. Woods
Raymond L. Schumann
Kathleen L. Crotty
Michael O. Sznajstajler
Matthew S. Welch
Robert E. Doan
William A. Rice
Douglas J. Collins
Sara E. Glover
Holly W. Zitzka



Daytona Beach • DeLand
One Daytona Boulevard, Suite 600
Daytona Beach, Florida 32114
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Jessica L. Gow
Nika K. Hosseini
Sydney V. Cichon
Anthony E. Aguanno
Baylee D. Bunyard
Anne M. Kehrl
Alanna V. Smith

OF COUNSEL
Larry D. Marsh
Ira Halfond

William M. Cobb (1881-1939)
Thomas T. Cobb (1916-2004)
W. Warren Cole, Jr. (1926-2008)

August 16, 2024

INVITATION TO NEIGHBORHOOD MEETING

Dear Neighbor:

The law firm of Cobb Cole has the pleasure of representing FL P40, LLC, (Owner) in connection with their application for their Planned Development-General Rezoning on their property located along S. Williamson Blvd., Daytona Beach, FL as shown on the attached map. The owner intends to develop the property for mixed use development opportunities focused around the provision of additional industrial uses within close proximity to the interchange of I-95 and I-4, and to allow for future development potential for complimentary residential and commercial uses.

As neighbors to the proposed development, we would like to invite you to discuss the project on **Wednesday, August 28, 2024, at 6:00 p.m.** at the Daytona Autograph Hotel, located at 1870 Victory Circle., Daytona Beach, FL 32114.

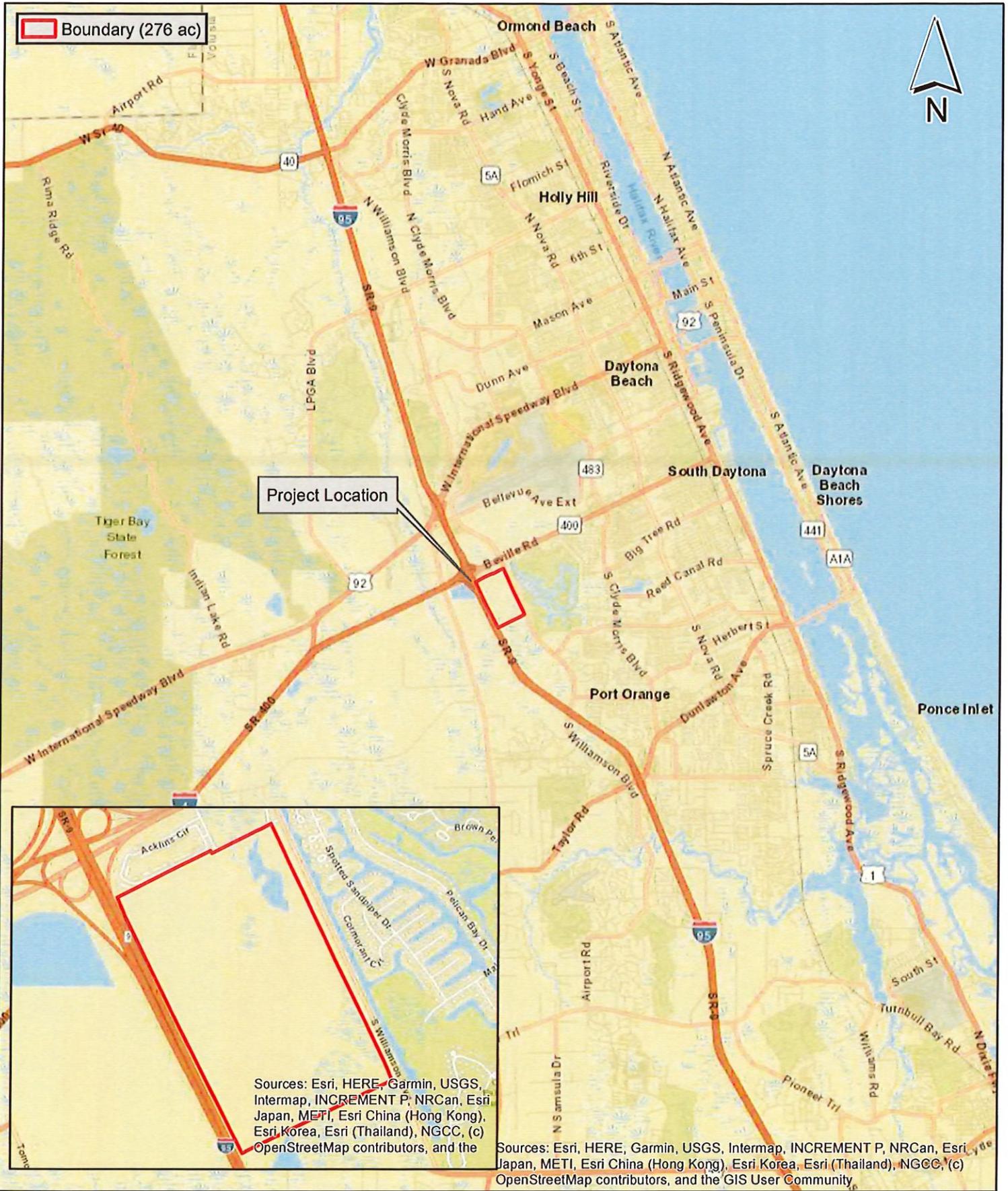
You may provide written comments or questions regarding this request by email to Tequila.nelson@CobbCole.com or by letter to Tequila Nelson, Cobb Cole, One Daytona Boulevard, Suite 600, Daytona Beach, FL 32114. Please include your name, address, and contact information in your correspondence. A copy of any correspondence received prior to the meeting will be included in the summary of the meeting provided to the City of Daytona Beach.

We look forward to seeing you at this meeting if you are interested in discussing this amendment to the existing project.

Sincerely,

Jessica Gow
Direct/Dial (386) 323-9226
Email Jessica.Gow@CobbCole.com
Fax (386) 323-9207

JLG/tmn/ddl



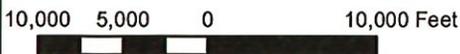
Project Location

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community.

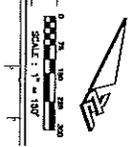
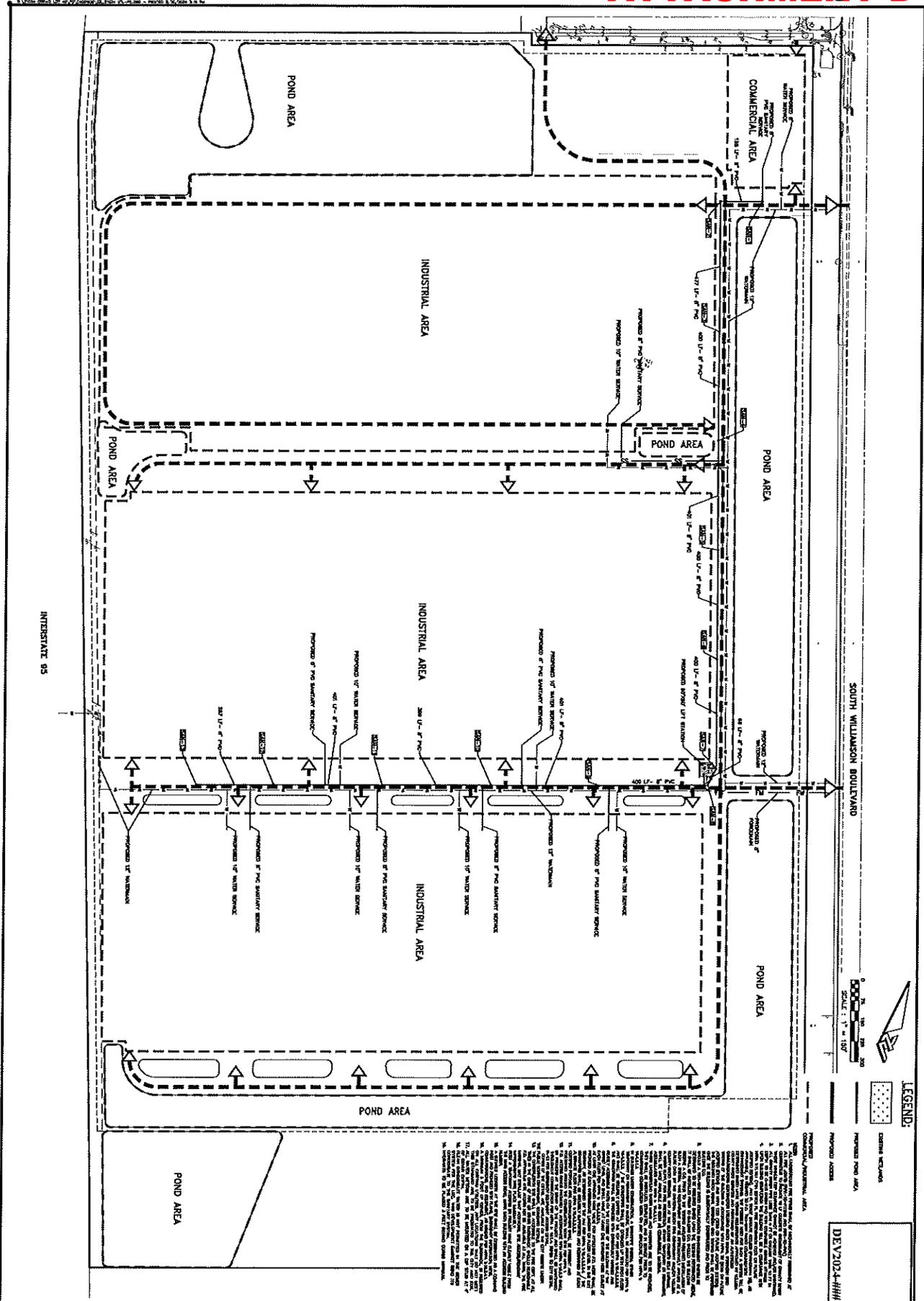
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Location Map
 FPL Lot 40
 Daytona Beach, FL
 Page 215 of 292

ZEV COHEN
 & ASSOCIATES, INC.
 300 Interchange Blvd
 Ormond Beach, FL 32174
 ph 386-677-2482



LEGEND:

	EXISTING EASELS
	PROPOSED POND AREA
	PROPOSED ACCESS

DEV2024-444

1. THE ENGINEER HAS REVIEWED THE PROPOSED UTILITY PLAN AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF CORACI, MISSISSIPPI, ZONING ORDINANCES AND THE MISSISSIPPI DEPARTMENT OF TRANSPORTATION (DOT) STANDARDS AND SPECIFICATIONS FOR HIGHWAYS AND BRIDGES. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY TO VERIFY THE EXISTING CONDITIONS OR THE PROPOSED UTILITY LOCATIONS. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE UTILITY SYSTEM AS SHOWN ON THIS PLAN. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE RESULTS OF ANY FIELD SURVEYS CONDUCTED BY OTHER PROFESSIONALS. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER MATTER. THIS PLAN IS THE PROPERTY OF ZEV COHEN & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF ZEV COHEN & ASSOCIATES, INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION IS STRICTLY PROHIBITED. THE ENGINEER'S OFFICE IS LOCATED AT 1000 W. MAIN STREET, CORACI, MISSISSIPPI 39024. THE ENGINEER'S PHONE NUMBER IS 662-234-1111. THE ENGINEER'S FAX NUMBER IS 662-234-1112. THE ENGINEER'S EMAIL ADDRESS IS ZEV@ZEVCOHEN.COM. THE ENGINEER'S WEBSITE IS WWW.ZEVCOHEN.COM. THE ENGINEER'S LICENSE NUMBER IS 10000. THE ENGINEER'S EXPIRATION DATE IS 12/31/2024. THE ENGINEER'S BOARD IS THE MISSISSIPPI BOARD OF PROFESSIONAL ENGINEERS. THE ENGINEER'S BOARD ADDRESS IS 1000 W. MAIN STREET, CORACI, MISSISSIPPI 39024. THE ENGINEER'S BOARD PHONE NUMBER IS 662-234-1111. THE ENGINEER'S BOARD FAX NUMBER IS 662-234-1112. THE ENGINEER'S BOARD EMAIL ADDRESS IS ZEV@ZEVCOHEN.COM. THE ENGINEER'S BOARD WEBSITE IS WWW.ZEVCOHEN.COM. THE ENGINEER'S BOARD LICENSE NUMBER IS 10000. THE ENGINEER'S BOARD EXPIRATION DATE IS 12/31/2024. THE ENGINEER'S BOARD BOARD IS THE MISSISSIPPI BOARD OF PROFESSIONAL ENGINEERS. THE ENGINEER'S BOARD ADDRESS IS 1000 W. MAIN STREET, CORACI, MISSISSIPPI 39024. THE ENGINEER'S BOARD PHONE NUMBER IS 662-234-1111. THE ENGINEER'S BOARD FAX NUMBER IS 662-234-1112. THE ENGINEER'S BOARD EMAIL ADDRESS IS ZEV@ZEVCOHEN.COM. THE ENGINEER'S BOARD WEBSITE IS WWW.ZEVCOHEN.COM. THE ENGINEER'S BOARD LICENSE NUMBER IS 10000. THE ENGINEER'S BOARD EXPIRATION DATE IS 12/31/2024. THE ENGINEER'S BOARD BOARD IS THE MISSISSIPPI BOARD OF PROFESSIONAL ENGINEERS. THE ENGINEER'S BOARD ADDRESS IS 1000 W. MAIN STREET, CORACI, MISSISSIPPI 39024. THE ENGINEER'S BOARD PHONE NUMBER IS 662-234-1111. THE ENGINEER'S BOARD FAX NUMBER IS 662-234-1112. THE ENGINEER'S BOARD EMAIL ADDRESS IS ZEV@ZEVCOHEN.COM. THE ENGINEER'S BOARD WEBSITE IS WWW.ZEVCOHEN.COM. THE ENGINEER'S BOARD LICENSE NUMBER IS 10000. THE ENGINEER'S BOARD EXPIRATION DATE IS 12/31/2024.

<p>DATE: 03/03/2024</p> <p>BY: [Signature]</p> <p>SCALE: AS SHOWN</p>	<p>NO. OF SHEETS: 1</p> <p>TOTAL SHEETS: 1</p>	<p>ENGINEERING</p> <p>LANDSCAPE ARCHITECTURE</p> <p>ENVIRONMENTAL PLANNING</p> <p>TRANSPORTATION</p>	<p>ZEV COHEN & ASSOCIATES, INC.</p> <p>1000 W. MAIN STREET, CORACI, MISSISSIPPI 39024</p> <p>WWW.ZEVCOHEN.COM</p>

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TAMPA, FL 33637

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719 S WOODLAND BLVD
DELAND, FL 32720

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LEBLANC GREGORY
76A HOMEWARD AVE UXBRIDGE,
MA 01569

PELICAN BAY GOLF CLUB LLC
11507 N SHORE GOLF CLUB BLVD
ORLANDO, FL 32832

MASROC LAND LP
1215 GESSNER DR
HOUSTON, TX 77055

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TAMPA, FL 33637

APPEL DOUGLAS J
110 KINGBIRD CIR
DAYTONA BEACH, FL 32119

TRAILS INC
501 N GRANDVIEW AVE DAYTONA
BEACH, FL 32118

BREITENBRUCK MARIANNE
112 KINGBIRD CIR
DAYTONA BEACH, FL 32119

ROWE RICHARD J
1333 HOLTON DR APT 108
LE MARS, IA 51031

KHOURY MARI GRAY
1400 SHERIDEN ST #24J
HOLLYWOOD, FL 33020

BATTAGLIA LAUREN
144 SNOWGOOSE CT
DAYTONA BEACH, FL 32119

KELLEHER ARTHUR K
7455 SW 124TH ST
PINECREST, FL 33156

ABDO-BROWNSBERGER CAROL L
229 MALLARD LN
DAYTONA BEACH, FL 32119

CAVANAGH PAMELA
124 KINGBIRD CIR
DAYTONA BEACH, FL 32119

WALSH KENNETH R
100 KINGBIRD CIR UNIT 1090
DAYTONA BEACH, FL 32119

ROSS OLIVER SR
128 KINGBIRD CIR #205
DAYTONA BEACH, FL 32119

BRAIDLOW LARRY
100-10 KINGBIRD CIR
DAYTONA BEACH, FL 32119

RUSSOM-BORDERS LORI D
132 KINGBIRD CIR UNIT 206
DAYTONA BEACH, FL 32119

v 1/5 7/31/2024 2:53:31 PM

AKEL LINDA A
136 KINGBIRD CIR
DAYTONA BEACH, FL 32119

MASON LINDA CAROL
140 KINGBIRD CIR 2080
DAYTONA BEACH, FL 32119

GIRGENTI JOEL H
144 KINGBIRD CIR
DAYTONA BEACH, FL 32119

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RENSHAW LEON B
148 KINGBIRD CIR 2100
DAYTONA BEACH, FL 32119

WHITE REGINA L TR
132 DUCKHAWK CIR
DAYTONA BEACH, FL 32119

LBT II LLC
1648 TAYLOR RD #403
PORT ORANGE, FL 32128

BLACK DWIGHT F
136 DUCK HAWK CIR
DAYTONA BEACH, FL 32119

TURNEY DEANN YETTA
622 AEOLIAN DR
NEW SMYRNA BEACH, FL 32168

MATTHEWS JOHN D
140 DUCK HAWK CIR
DAYTONA BEACH, FL 32119

WESTGATE OF PELICAN BAY CONDO
1190 PELICAN BAY DR
DAYTONA BEACH, FL 32119

MUMAW EVELYN N
144 DUCK HAWK CIR
DAYTONA BEACH, FL 32119

RINGEN PETER WJ
108 DUCK HAWK CIR
DAYTONA BEACH, FL 32118

FINE LYNN W
148 DUCK HAWK CIR
DAYTONA BEACH, FL 32119

BRENNER FRANCIS J
112 DUCK HAWK CIR
DAYTONA BEACH, FL 32119

SALMI LAURA LEE
152 DUCK HAWK CIR #313
DAYTONA BEACH, FL 32119

SMITH MATTHEW MALONE
116 DUCK HAWK CIR #3040
DAYTONA BEACH, FL 32119

GOMEZ MICHELE C
108 BLACK CROW CIR #402
DAYTONA BEACH, FL 32119

JEWELL JANET LORRAINE
120 DUCK HAWK CIR
DAYTONA BEACH, FL 32119

DELORENZO JOSEPH F
112 BLACK CROW CIR #403
DAYTONA BEACH, FL 32119

MCCULLOUGH THERESA A TR
622 TROON CT
OXFORD, CT 06478

HAUGHT KAREN J
116 BLACK CROW CIR UNIT 404
DAYTONA BEACH, FL 32119

WENSEL DAVID H
128 DUCK HAWK CIR
DAYTONA BEACH, FL 32119

NIEBLING MYRTIS F TR
120 BLACK CROW CIR
DAYTONA BEACH, FL 32119

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PEACOCK VIRGINIA
124 BLACK CROW CIR
DAYTONA BEACH, FL 32119

VALLEJO KAYLEIGH ANN
6 BAY GULL CT
DAYTONA BEACH, FL 32119

STRAIT JAY J
128 BLACK CROW CIR UNIT 4070
DAYTONA BEACH, FL 32119

8 BAY GULL COURT LLC
5601 PENNY CIR
ANCHORAGE, AK 99516

ROBERTSON MARTHA A
132 BLACK CROW CIR
DAYTONA BEACH, FL 32119

HALL DAVID L
10 BAY GULL CT
DAYTONA BEACH, FL 32119

PALMER NIVIA L
136 BLACK CROW CIR
DAYTONA BEACH, FL 32119

LAWRENCE SCOTT E
9 BAY GULL CT
DAYTONA BEACH, FL 32119

MOORE VIRGIL
140 BLACK CROW CIR #4100
DAYTONA BEACH, FL 32119

BOWEN JAMES D
7 BAY GULL CT
DAYTONA BEACH, FL 32119

LAWRENCE CECIL E
144 BLACK CROW CIR
DAYTONA BEACH, FL 32119

5 BAY GULL COURT LLC
5601 PENNY CIR
ANCHORAGE, AK 99516

KINNEY FRANK RAYMOND
148 BLACK CROW CIR #4120
DAYTONA BEACH, FL 32119

COMMUNITY ASSOC/CYPRESS COVE @
1 CORMORANT CIRCLE CT
DAYTONA BEACH, FL 32119

CUTLER MAX
152 BLACKCROW CIR UNIT 413
DAYTONA BEACH, FL 32119

WISE JERRY D
6 CORMORANT CIR
DAYTONA BEACH, FL 32119

COMMUNITY ASSOC/CYPRESS COVE @
1 CORMORANT CIRCLE CT
DAYTONA BEACH, FL 32119

8CC LLC
8 CORMORANT CIR
DAYTONA BEACH, FL 32119

ROCCA WILLIAM G
4 BAY GULL CT
DAYTONA BEACH, FL 32119

POLLARD CHRISTOPHER
10 CORMORANT CIR
DAYTONA BEACH, FL 32119

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DB CONDOS FAMILY LP
PO BOX 800278
BALCH SPRINGS, TX 75180

MASLOWSKI MICHAEL C
1128 NIGHTSHADE
WILLIAMSTOWN, NJ 08094

DB CONDOS FAMILY LIMITED PARTNERSHIP
PO BOX 800278
MESQUITE, TX 75180

NGUYEN NGOC-THAM THI
34 CORMORANT CIR
DAYTONA BEACH, FL 32119

SMITH BARBARA R
16 CORMORANT CIR
DAYTONA BEACH, FL 32119

MELODY FRANCIS DAVID
36 CORMORANT CIR
DAYTONA BEACH, FL 32119

SUTPHEN ROBERT
18 CORMORANT CIR
DAYTONA BEACH, FL 32119

MCCOLLUM ERIC
38 CORMORANT CIR
DAYTONA BEACH, FL 32119

THREATT RICHARD L JR
105 PROPRIETORS LN
SUMMERVILLE, SC 29485

ROSS CHARLENE S
9 CORMORANT CR
DAYTONA BEACH, FL 32119

MAIO PETER
22 CORMORANT CIR
DAYTONA BEACH, FL 32119

ROSSARIO ZOILA A
11 CORMORANT CIR
DAYTONA BEACH, FL 32119

B EGLINGER GREGORY O
24 CORMORANT CIR
DAYTONA BEACH, FL 32119

LEWIS PATRICIA C TR
13 CORMORANT CIR
DAYTONA BEACH, FL 32119

DEROO KAREN R
26 CORMORANT CIR
DAYTONA BEACH, FL 32119

DB CONDOS FAMILY LP
PO BOX 800278
BALCH SPRINGS, TX 75180

APLIN DEBORAH KONKOS
28 CORMORANT CIR
DAYTONA BEACH, FL 32119

D B CONDOS FAMILY LTD PRTRNSHP
PO BOX 800278
BALCH SPRINGS, TX 75180

ALEXANDER JAMES JARROD
30 CORMORANT CIR
DAYTONA BEACH, FL 32119

HENRY THOMAS P
19 CORMORANT CIR
DAYTONA BEACH, FL 32119

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HICKS MAXINE MAXWELL
21 CORMORANT CIR
DAYTONA BEACH, FL 32119

LILYANDER JANE
50 CORMORANT CIR
DAYTONA BEACH, FL 32119

BECKMAN EMILY MELISSA
825 BAYRIDGE LN
PORT ORANGE, FL 32127

CARMAN JAMES K
29 CORMORANT CIR
DAYTONA BEACH, FL 32119

WRIGHT G RUSSELL
900 BISCAYNE BLVD STE 2001
MIAMI, FL 33132

2018-3 IH BORROWER LP
POX BOX 4900
SCOTTSDALE, AZ 85261

SAVIUK ALEXANDER
27 CORMORANT CIR
DAYTONA BEACH, FL 32119

DAVIS WILLIAM A
33 CORMORANT CIR
DAYTONA BEACH, FL 32119

COMMUNITY ASSOC/CYPRESS COVE @
1 CORMORANT CIRCLE CT
DAYTONA BEACH, FL 32119

MICKELSON DOUGLAS J
35 CORMORANT CIR
DAYTONA BEACH, FL 32119

LOWE JAMES V
40 CORMORANT CIR
DAYTONA BEACH, FL 32119

SIGNATURES EXEC PARK PARTIAL
2379 BEVILLE RD
DAYTONA BEACH, FL 32119

MEYERS JOHN R
42 CORMORANT CIR
DAYTONA BEACH, FL 32119

CITY OF DAYTONA BEACH
301 S RIDGEWOOD AVE
DAYTONA BEACH, FL 32114

RODRIGUES JOSE
44 CORMORANT CIR
DAYTONA BEACH, FL 32119

ANDROS ISLES DAYTONA PROPERTY
15436 N FLORIDA AVE STE 200
TAMPA, FL 33613

PENNINGTON TROY S
46 CORMORANT CIR
DAYTONA BEACH, FL 32119

RACETRAC PETROLEUM INC
200 GALLERIA PARKWAY SE SUITE 900
ATLANTA, GA 30339

BRUNO JAMES R
48 CORMORANT CIR
DAYTONA BEACH, FL 32119

DK GATEWAY ANDROS LLC
300 CRESCENT CT STE 700
DALLAS, TX 75201

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BF-KL WAYPOINTE LLC
14025 RIVEREDGE DR STE 175
TAMPA, FL 33637

DEROO KAREN R
26 CORMORANT CIR
DAYTONA BEACH, FL 32119

FL P40 LLC
51 DEFOREST AVE
SUMMIT, NJ 07901

APLIN DEBORAH KONKOS
28 CORMORANT CIR
DAYTONA BEACH, FL 32119

LEBLANC GREGORY
76A HOMEWARD AVE
UXBRIDGE, MA 01569

ALEXANDER JAMES JARROD
30 CORMORANT CIR
DAYTONA BEACH, FL 32119

FL P40 LLC
51 DEFOREST AVE
SUMMIT, NJ 07901

MASLOWSKI MICHAEL C
1128 NIGHTSHADE
WILLIAMSTOWN, NJ 08094

PELICAN BAY GOLF CLUB LLC
11507 N SHORE GOLF CLUB BLVD
ORLANDO, FL 32832

NGUYEN NGOC-THAM THI
34 CORMORANT CIR
DAYTONA BEACH, FL 32119

BF-KL WAYPOINTE LLC
14025 RIVEREDGE DR STE 175
TAMPA, FL 33637

MELODY FRANCIS DAVID
36 CORMORANT CIR
DAYTONA BEACH, FL 32119

FL P40 LLC
51 DEFOREST AVE
SUMMIT, NJ 07901

MCCOLLUM ERIC
38 CORMORANT CIR
DAYTONA BEACH, FL 32119

TRAILS INC
501 N GRANDVIEW AVE
DAYTONA BEACH, FL 32118

WRIGHT G RUSSELL
900 BISCAYNE BLVD STE 2001
MIAMI, FL 33132

PELICAN BAY GOLF CLUB LLC
11507 N SHORE GOLF CLUB BLVD
ORLANDO, FL 32832

SAVIUK ALEXANDER
27 CORMORANT CIR
DAYTONA BEACH, FL 32119

COMMUNITY ASSOC/CYPRESS COVE @
1 CORMORANT CIRCLE CT
DAYTONA BEACH, FL 32119

COMMUNITY ASSOC/CYPRESS COVE @
1 CORMORANT CIRCLE CT
DAYTONA BEACH, FL 32119

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LOWE JAMES V
40 CORMORANT CIR
DAYTONA BEACH, FL 32119

DAVIS WILLIAM A
33 CORMORANT CIR
DAYTONA BEACH, FL 32119

MEYERS JOHN R
42 CORMORANT CIR
DAYTONA BEACH, FL 32119

MICKELSON DOUGLAS J
35 CORMORANT CIR
DAYTONA BEACH, FL 32119

RODRIGUES JOSE
44 CORMORANT CIR
DAYTONA BEACH, FL 32119

FRIEDMAN BARBARA
37 CORMORANT CIR
DAYTONA BEACH, FL 32119

PENNINGTON TROY S
46 CORMORANT CIR
DAYTONA BEACH, FL 32119

400 RP LLC
51 DEFOREST AVE
SUMMIT, NJ 07901

BRUNO JAMES R
48 CORMORANT CIR
DAYTONA BEACH, FL 32119

MASROC LAND LP
1215 GESSNER DR
HOUSTON, TX 77055

LILYANDER JANE
50 CORMORANT CIR
DAYTONA BEACH, FL 32119

OWENS JESSE SAMUEL JR
2193 HALIFAX DR
PORT ORANGE, FL 32128

PAYNE CRAIG H
52 CORMORANT CIR
DAYTONA BEACH, FL 32119

STATE OF FLORIDA DOT
719 S WOODLAND BLVD
DELAND, FL 32720

MILLEN DANIEL ROBERT
54 CORMORANT CIR
DAYTONA BEACH, FL 32119

CARMAN JAMES K
29 CORMORANT CIR
DAYTONA BEACH, FL 32119

2018-3 IH BORROWER LP
POX BOX 4900
SCOTTSDALE, AZ 85261



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Comprehensive Plan Amendment and
Planned Development-General Rezoning Application

Coraci Family – Local History

For decades, the Coraci family has worked with the City of Daytona Beach and Volusia County to make a meaningful impact within our community through well planned development and innovative partnerships that provided infrastructure improvements and long-range community planning to support well-planned growth.

Their efforts have been a key piece in the successful growth and development of this area, including:

- Dedicated right of way and coordinated with the County for the initial construction and improvement of Williamson Boulevard
- Worked alongside the City to establish planning goals and policies for this overall corridor
- Dedicated right-of-way for the Madeline Avenue extension project and the potential future extension over I-95



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Site Location and Overview

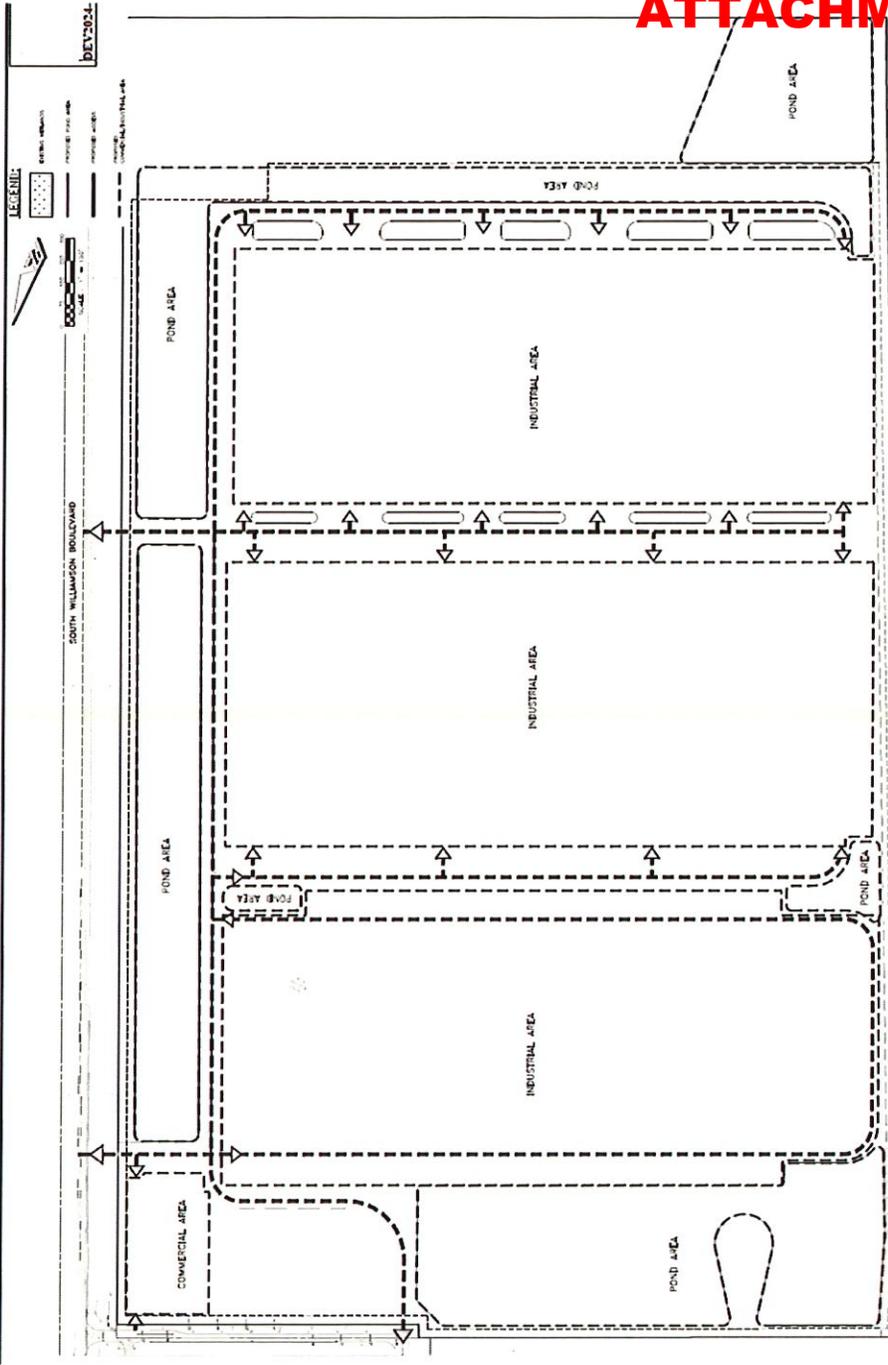
- Property is located generally west of Williamson Boulevard, just south of both Beville Road and Caribbean Pine Way.
- Existing zoning of the property allows for development of agricultural and single residential uses throughout the site as a holding category for future urban development.
- Project is designed to limit potential intensity of uses and allow for a mixed-use project focused on industrial uses.
- Neighborhood commercial uses are potentially included to support the proposed and existing residents in the vicinity of the site and limit the distance traveled to certain retail and support amenities.

Current Zoning and Land Use

- The current Future Land Use is a mixture of Interchange Commercial, Mixed Use, General Industrial, Office Transition, Level 1 Residential, and Existing Potential Parks
- The current zoning designation is Agricultural



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Proposed Use

- Proposing industrial uses with the potential development of supporting commercial uses – the PD is drafted for flexibility in future use types with supporting retail, office, and residential.
- The Property would be reduced from their current development program, which allows 37,866 PM peak hour trips, to a development program limited to 3,000 PM peak hour trips, reducing the development potential of the property by over 90%

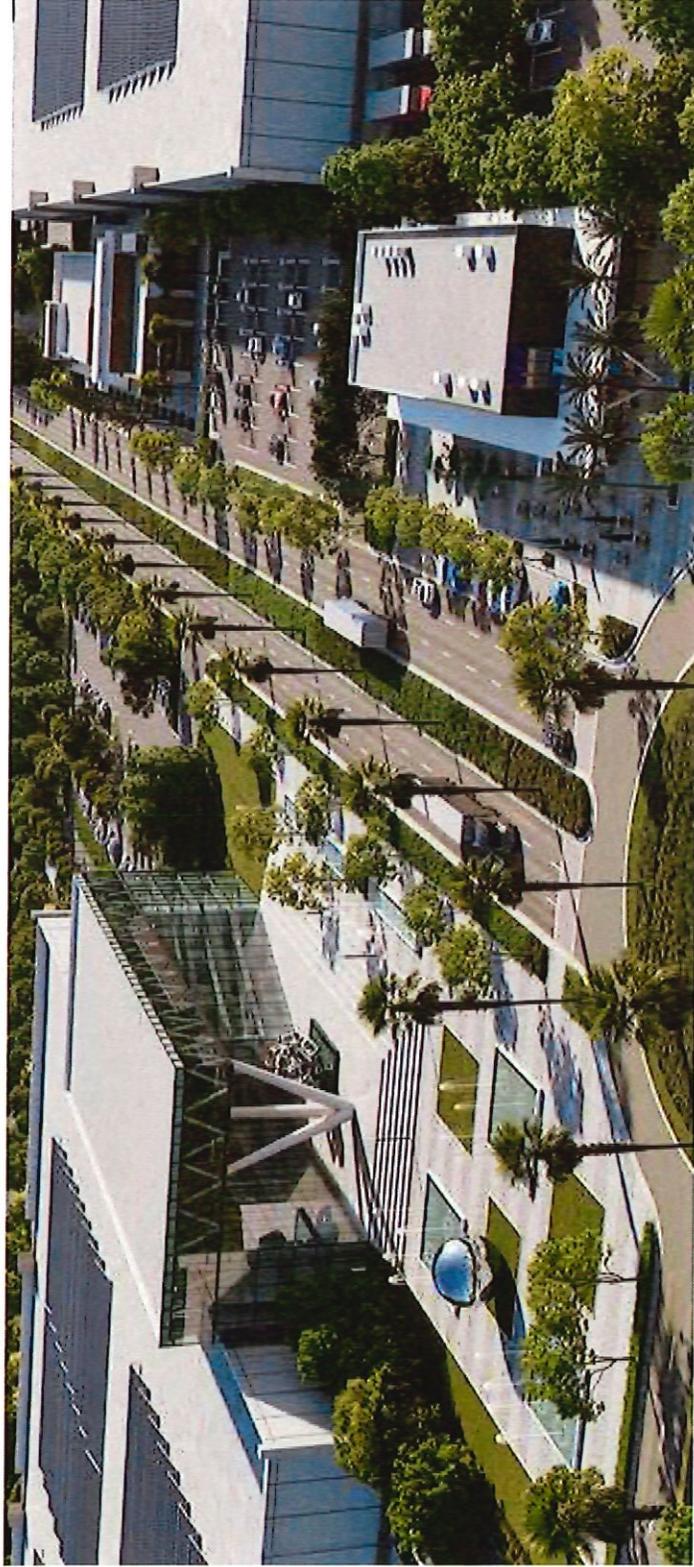


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Vision – Quality Design, Sustainability, and Economic Growth



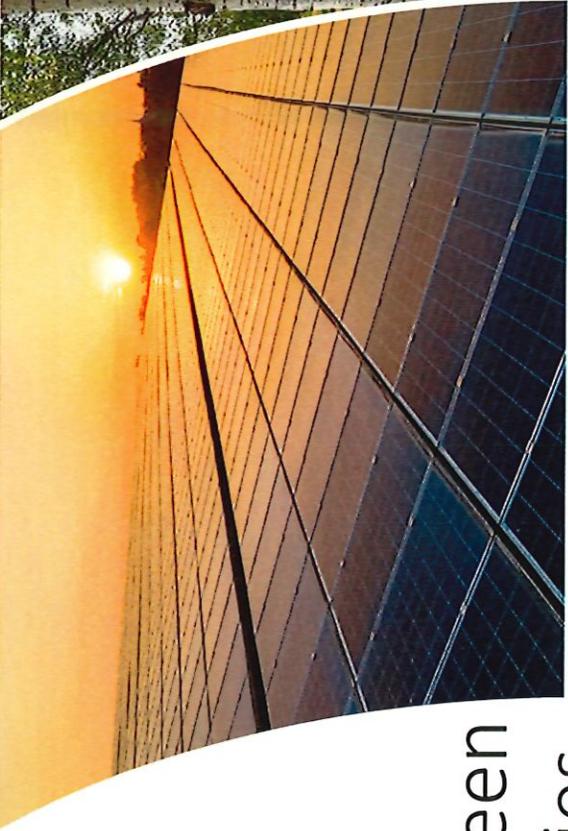
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**Conceptual Design and Character Image*

Conceptual Design and Character Images



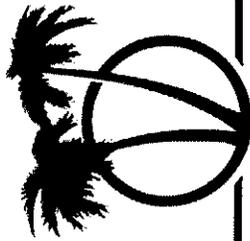


Sustainability – Solar Energy, Green Fuel Opportunities



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Questions?



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NEIGHBORHOOD MEETING NOTICE

A NEIGHBORHOOD MEETING HAS BEEN SCHEDULED ON

8/28/24 AT 6:00PM TO INTRODUCE THE

FOLLOWING APPLICATION FOR THIS PROPERTY: DEV2024-

LSCPA - PD-G Reopening 378-3379

THE MEETING WILL BE HELD AT THE FOLLOWING LOCATION:

Dunwoody Autograph Hotel, 1870 Victory Cir., D08

INTERESTED PARTIES CAN CONTACT Cobb Cole

AT 386/323-9225 FOR FURTHER INFORMATION.

NEIGHBORHOOD MEETING NOTICE

A NEIGHBORHOOD MEETING HAS BEEN SCHEDULED ON

8/28/24 AT 6:00PM TO INTRODUCE THE

FOLLOWING APPLICATION FOR THIS PROPERTY:

LSCPA - PDG Rezoning DEN004-378 r 374

THE MEETING WILL BE HELD AT THE FOLLOWING LOCATION:

Douglas Archdiocese Hotel; 1870 Victory Cir, DB, FL

INTERESTED PARTIES CAN CONTACT Cobb Cole

AT 386/323-9225 FOR FURTHER INFORMATION.

NEIGHBORHOOD MEETING NOTICE

A NEIGHBORHOOD MEETING HAS BEEN SCHEDULED ON 8/28/24 AT 6:00 AM TO INTRODUCE THE

FOLLOWING APPLICATION FOR THIS PROPERTY:

KSC PAR PD-G Rezoning DEK2024-578-379

THE MEETING WILL BE HELD AT THE FOLLOWING LOCATION:

Danmore Analograph Hotel - 1870 Victoria Cir, DOR, GA

INTERESTED PARTIES CAN CONTACT Cobb Code AT 386/343-9225 FOR FURTHER INFORMATION.

Agenda Item 4D (Quasi-Judicial Hearing)
Planned Development - General Rezoning
DEV2025-066
Drury PD

STAFF REPORT

MEETING DATE: June 26, 2025, Planning Board
REPORT DATE: June 17, 2025
SUBJECT: DEV2025-066 Drury PD-G Rezone
APPLICANT: Robert A. Merrell III, Esq., Cobb Cole
OWNER: Daytona Beach 1299, LLC
STAFF: Danalee Petyk, AICP, Senior Planner

SUMMARY OF REQUEST

This request is for a rezone of ± 4.6 acres of land from the Tourist / Highway Interchange (T-5) to Planned Development – General (PD-G) for the development of a hotel and restaurant.

As part of the PD-G rezoning, the applicant has requested the following waivers and Land Development Code (LDC) modifications:

- Waiver from typical dimensional standards for a development in the Tourist / Highway Interchange (T-5) zoning district including lot width, lot depth, and setbacks.
- Waiver from the minimum parking requirements to allow specific parking ratios based on phasing of the restaurant and hotel construction and the final complete development and to reduce the minimum parking space size required.
- Waivers from the required landscaping including modifications to the property perimeter landscape strips/buffers and the building perimeter landscaping.
- Waiver to increase the maximum allowable wall signage for the development.

A majority vote by the Planning Board members present and voting is required to forward a recommendation to the City Commission. The item is tentatively scheduled to be heard by the City Commission for 1st reading on August 6, 2025, and for 2nd reading on August 20, 2025.

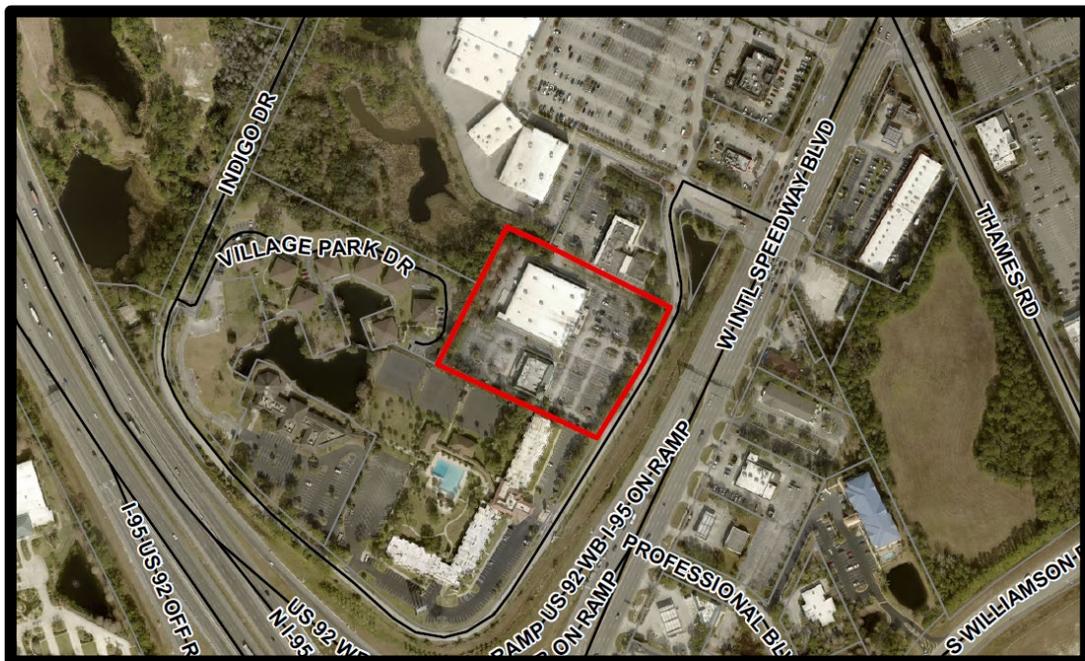
Staff recommendation: Staff finds the requested rezone meets the criteria in Sections 3.4.D.3 and 4.8.B, Land Development Code. Staff recommends the Planning Board forward the rezone of ± 4.6 acres from Tourist / Highway Interchange (T-5) to Planned Development – General (PD-G) to the City Commission with a recommendation of approval.

SITE INFORMATION

Location: 2600 and 2610 West International Speedway Boulevard
Parcel No(s): 5222-01-04-0060
Property Size: ± 4.6 acres
Existing Zoning: Tourist / Highway Interchange (T-5)
Existing Future Land Use: Retail (R)

Adjacent Land Use and Zoning: Existing uses listed in the table below are not intended to be an all-inclusive list, but a general summary of types of uses near the subject property.

	Existing Use(s)	Future Land Use Designation	Existing Zoning Classification
Site	Retail (Vacant)	R	T-5
North	Office	R	T-5
South	Hotel	R	T-5
East (across ISB)	Retail	R	T-4
West	Multi-Family Residential	R	T-5



Aerial View of the Property

PROJECT DESCRIPTION & HISTORY

The applicant proposes to rezone ± 4.6 acres of vacant property from Tourist / Highway Interchange (T-5) to Planned Development – General (PD-G) to allow for the development of a hotel and restaurant. The property previously had the standalone Haverty's furniture store and Miller's Ale House, both of which recently closed and relocated; the buildings on site are currently vacant. The hotel development proposes to remove the furniture store building and construct a hotel, an outparcel for a standalone restaurant, parking, and landscaping.

The general development plan for the hotel use on the property is shown in *Attachment A*.

PROJECT ANALYSIS – PLANNED DEVELOPMENT REZONING

According to Section 3.4.D.3, *Site-Specific Zoning District Amendment Review Standards*, Land Development Code (LDC), the City shall consider the criteria below when determining whether to adopt or deny a proposed Site-Specific Zoning District Map Amendment. In addition, the City Commission must find applications for a PD zoning district classification in compliance with Section 4.8.B, *General Standards for All Planned Development Districts*, LDC, before approving said PD zoning district classification. The analysis of the proposed Planned Development – General zoning classification is below.

Site-Specific Zoning District Map Amendment Review Standards

Per Section 3.4.D.3, LDC, in determining whether to adopt or deny a proposed Site-Specific Zoning District Map Amendment, the City shall consider the following:

a. Whether the applicant has provided, as part of the record of the public hearing on the application, competent substantial evidence that the proposed amendment:

i. Is consistent with and furthers the goals, objectives, and policies of the Comprehensive Plan and all other applicable City-adopted plans;

The property has a Retail (R) future land use designation, which is an area composed primarily of retail establishments, but typically containing other commercial uses including amusements located in planned zoning districts. The floor area ratio shall not exceed 3.0. The proposed hotel will comply with the maximum FAR and is a typical commercial use located in retail areas. The use and intensity proposed are consistent with the Retail future land use designation of the property.

ii. Is not in conflict with any portion of this Code.

The development standards for a PD District must comply with Article 6: Development Standards and Article 7: Subdivision Standards in the LDC; any modifications of those standards must be established in the PD Plan and the PD Agreement. With this amendment to the PD, the applicant has requested modifications to these standards, as detailed below and in the attached Waiver & Benefits Letter (*Attachment B*).

LDC Modifications & Project Details

- *Lot Development Criteria* – The applicant has requested a waiver from Section 4.5.E, LDC, to revise the lot size and setbacks standards for developments in the T-5 zoning designation. The waiver includes modifications from the lot width, lot depth, and setbacks standards, specific to each proposed use. The proposed modifications are detailed in the table below:

-

Dimensional Standard	LDC Requirement (T-5)	Proposed PD Modification - Hotels	Proposed PD Modification – Restaurants or Retail
Lot Width	175 ft	n/a – Will meet code	100 ft
Lot Depth	225 ft	n/a – Will meet code	100 ft
Front Setback	20 ft	n/a – Will meet code	5 ft
Side Setback	15' + 4" per foot of height over 35' (32 ft for hotel; 20 ft other uses)	15 ft	5 ft
Rear Setback	15' + 4" per foot of height over 35' (32 ft for hotel; 20 ft other uses)	50 ft	n/a – Will meet code

Section 4.8, LDC, requires proposed Planned Developments to establish minimum lot standards within the PD Agreement including setbacks.

- *Parking* – The applicant has requested a waiver from Section 6.2.C.1, LDC, which establishes the minimum parking standards based on the proposed use. A “hotel or motel” use requires 1 parking space per guest room + 1 parking space per 15 guest rooms and a “restaurant” use requires 1 parking space per 50 sq. ft. of customer service area per the LDC. In lieu of meeting the LDC parking minimums, the applicant has submitted a parking study (*Attachment C*) and proposes to provide an overall parking minimum total of 0.51 parking spaces per guest room for the hotel and 1 parking space per 50 sq. ft. of customer service area for a restaurant.

As part of the waiver request, the applicant also establishes the parking calculations in the event the project is phased. If the hotel is constructed first, the parking will be provided at a ratio of 0.82 parking spaces per guest room. If the restaurant is constructed first, the parking will be provided at a ratio of 1 parking space per 50 sq. ft. of customer service area. When both are operational, the minimum ratio established above of 0.51 parking spaces per guest room for the hotel and 1 parking space per 50 sq. ft. of customer service area for a restaurant. To ensure adequate parking for the restaurant when both the hotel and restaurant are operational, the

applicant has established a maximum customer service area for a restaurant to 8,300 sq. ft.

The applicant has also requested a waiver from Section 6.2.H.1, LDC, to reduce the minimum parking size required for a 90° parking space from 9 ft x 19 ft to 9 ft x 18 ft.

- *Landscaping* – The applicant has requested a waiver from Sections 6.4.C.1 and 6.4.C.2, LDC, regarding the minimum landscape strips and building perimeter landscaping to accommodate the proposed development layout. The specific waivers and modifications requested are described below per the layout proposed on the PD Plan shown in *Attachment A*.
 - Along the North property line where the hotel use is proposed, the LDC requires 5' perimeter landscape strip. The applicant also proposes a 5' perimeter landscape strip, but requests accessory uses be allowed within the landscape area which the LDC does not permit.
 - Along the South property line where the restaurant use is proposed, the LDC requires a 5' perimeter landscape strip and landscaping around any building perimeter. The applicant proposes a 5' perimeter landscape strip, but requests if a building is located within 10' of the property line, then no building perimeter landscaping be required along that building façade. The applicant also proposes the landscape be phased according to the landscape plan shown in *Attachment D*, where the property perimeter landscaping around the restaurant is only required to be installed when the restaurant is constructed.
 - Where the property abuts Indigo Drive, the East property line, the LDC requires an 8' landscape strip where the parking areas are proposed and a 5' landscape strip where the building is proposed in addition to any required building perimeter landscaping. The applicant proposes a 5' landscape strip along this entire property boundary, and, similar to the South property line, requests if a building is located within 10' of the property line, then no building perimeter landscaping be required along that building façade. The applicant also proposes the landscape be phased with the restaurant, the same as the South property line described above. In addition, the applicant proposes to plant only understory trees within this landscape strip/buffer and will reallocate the shade trees required to the rear property line, and the required shade trees may also be met through any replacement trees planted for specimen tree mitigation.
 - For the West property line which abuts residential, a Type D buffer would be required per Section 6.6.C, LDC. The applicant proposes a 5' landscape buffer width here, which per the LDC would require a 6' tall opaque wall and 20 evergreen shrubs per 100 linear feet of property line. The applicant requests a waiver from the wall requirement to allow a 6' tall opaque fence to be installed instead.

For the required tree plantings, the applicant proposes a modification to Section 6.4.E.1.b.vi, LDC, to allow small trees planted in pairs to substitute a required shade tree in addition to the palm trees planted in pairs allowed by the LDC. This substitution may not satisfy more than 25% of the required shade trees. The PD Agreement also establishes plantings may be located outside of the minimum buffer width so long as they are located within 15' of the buffer location.

- *Tree Preservation* – As part of the PD Agreement, the applicant has established the tree preservation and mitigation requirements they will follow. Per Section 6.15, LDC, if a property has between 5.1 and 8 specimen trees per acre, a minimum of 50% of the specimen trees must be preserved. As the applicant may not meet this preservation requirement through solely preservation of specimen trees, the applicant proposes to meet it through a combination of tree preservation, replacement tree plantings, and payment of the fee in lieu of, all of which are allowable per the LDC.
- *Signage* – The final waiver requested by the applicant is from Section 6.10.K.4, LDC, which establishes the maximum signage allowed in the T-5 zoning classification. Per the LDC, wall signs in the T-5 district are capped at 120 square feet in total area for the entire property. As the development proposes a mix of uses and multiple buildings where 120 square feet would be insufficient, the applicant is requesting a waiver to allow a wall sign on each elevation of the hotel and additional signage for the restaurant/retail use. The proposed sign plan is shown in *Attachment E* and is detailed below:
 - Hotel – Wall Signs
 - East Elevation – 187.5 sq. ft. sign area
 - All other elevations – 155 sq. ft. sign area each
 - Total cumulative sign area for hotel of 652.5 sq. ft.
 - Restaurant – Wall Signs
 - North Elevation – 120 sq. ft.
 - East Elevation – 180 sq. ft.
 - South Elevation – 180 sq. ft.
 - Total cumulative sign area for restaurant of 480 sq. ft.

iii. Addresses a demonstrated community need;

The applicant has provided a Waiver & Benefits Letter (*Attachment B*) which details the proposed public benefits to the project and addresses the standard for a demonstrated community need. The Waiver & Benefits Letter details the requested modifications to the LDC, as identified above, in exchange for the public benefits enumerated in the letter.

Staff does not object to the applicant's demonstration they meet this criterion.

iv. Is compatible with existing and proposed uses surrounding the subject land, and is the appropriate zoning district for the land;

The proposed hotel use is located in a primarily commercial area at the interchange of Interstate 95 and West International Speedway Boulevard. The development in the area is a wide mix of commercial uses including other hotels, retail, office, and restaurants of a similar scope and character. The development is compatible with the existing and proposed uses in the surrounding area.

The property has an existing T-5 zoning classification which allows the development of a hotel and a restaurant. The proposed PD-G zoning district proposes the same use with the necessary waivers and development standards to accommodate this specific project. As the uses of the PD-G are consistent with the existing zoning, it would be considered appropriate.

Staff finds the proposed amendment is compatible with the existing and proposed uses surrounding the subject land and the requested PD-G zoning district is appropriate.

v. Would result in a logical and orderly development pattern;

The standards proposed in the PD Agreement and the LDC would result in a logical and orderly development pattern for the property and the surrounding area. Staff finds the proposed amendment meets this criterion.

vi. Would not adversely affect the property values in the area;

The proposed amendment does not change the overall intent of the existing zoning for tourist and highway interchange uses; therefore, staff does not have any indication there will be an adverse impact on the property values in the area.

vii. Would result in development that is adequately served by public facilities (roads, potable water, wastewater, solid waste, storm water, schools, parks, police, and fire and emergency medical facilities); and

The PD Agreement acknowledges approval of the rezoning does not constitute a Concurrency Certificate as required by the LDC. The applicant will be required to separately obtain a Concurrency Certificate and, where applicable, enter into a proportionate fair share agreement, prior to approval of a final plat for the proposed development.

Staff has reviewed the requested development for impacts to public facilities as part of the rezoning and offers no objection to the proposed use and the development plan.

viii. Would not result in significantly adverse impacts on the natural environment including, but not limited to, water, air, noise, storm water management, wildlife, vegetation, wetlands, and the natural functioning of the environment; and

The development is required to go through the site plan review process and provide environmental assessments and appropriate permitting from environmental agencies. Staff does not find any indication the development would result in significant adverse impacts to the natural environment as it is an existing, developed site formerly used as a furniture store. The PD rezoning meets this criterion.

b. If the applicant demonstrates that the proposed amendment meets the criteria in subparagraph [a] above, whether the current zoning district designation accomplishes a legitimate public purpose.

The existing zoning on the property is Tourist / Highway Interchange (T-5) which is consistent with the Retail future land use designation on the property. The T-5 zoning district is to provide for tourist-serving development near highway interchanges; it is to accommodate primarily visitor accommodation uses, plus restaurants and bars that serve visiting tourists, as well as other office and retail sales and service uses. The applicant proposes to rezone the property to a PD to accommodate a hotel and restaurant development and incorporate the requested waivers and development standards.

Planned Development Zoning Districts Review Standards

The City Commission must find applications for a Planned Development (PD) zoning district classification in compliance with the standards outlined in Section 4.8.B, *General Standards for All Planned Development Districts*, LDC, before approving said PD zoning district classification. The analysis of the proposed PD, including the PD Agreement and Plan, is below.

1. PD Plan/Agreement

The PD Plan/Agreement includes an overall development plan for the property, as shown in *Attachment A*. The PD Plan/Agreement complies with the standards of this subsection.

2. Consistency with City Plans

If adopted by the City Commission, the PD zoning district designation and the PD Plan/Agreement will be consistent with the Comprehensive Plan.

3. Compatibility with Surrounding Areas

The proposed development plan is compatible with the surrounding retail and commercial areas. The PD Agreement provides for appropriate buffers and establishes development criteria to provide for transition to the surrounding area based on the primary use proposed.

4. Development Phasing Plan

The development is not proposed to be phased but the PD Agreement does allow for phasing to occur if desired. The construction permits for the development of the property must be submitted within five (5) years of the approval of the PD Agreement, with substantial completion within eight (8) years of approval.

5. Conversion Schedule

The PD proposes only commercial uses; therefore, a residential conversion schedule is not necessary.

6. On-Site Public Facilities

The development will provide on-site public facilities as required to accommodate the uses proposed. The facilities will be reviewed at site plan and the applicant will obtain the appropriate City, State, or federal permits as applicable.

7. Uses

The following uses are proposed as permitted uses on the property per the PD Agreement. All uses are subject to compliance with the use-specific standards in Article 5 of the LDC. The uses provided here are a general summary of the proposed uses in the PD Agreement; additional requirements or conditions may be applicable to the uses as stated in the PD Agreement and LDC.

- **Visitor Accommodation Uses**
 - Hotel or motel
- **Eating and Drinking Establishments**
 - Restaurant with drive-in service
 - Restaurant with drive-through service
 - Restaurant without drive-in or drive-through service
 - Specialty eating or drinking establishment
- **Business Support Service Uses**
 - Business Service Center
 - Travel Agency
- **Office Uses**
 - Business services offices
 - Professional services offices
- **Retail Sales and Service Uses**
 - Art gallery
 - Art, crafts, music, dance, photography, or martial arts studio/school
 - Bank or financial institution with or without drive-through service
 - Book or media shop
 - Florist shop
 - Furniture or appliance store
 - Gift shop or stationary store
 - Jewelry store
 - Lawn care, pool, or pest control service
 - Personal and household goods repair establishment
 - Personal services establishment
 - Other retail sales and service establishment

8. Densities/Intensities

The applicant proposes a maximum Floor Area Ratio of 3.0 which is the maximum intensity permitted by the Retail (R) future land use designation on the property.

9. Dimensional Standards

The following lot development criteria shall apply to the property:

- Maximum building height: 85' Hotel; 50' all other uses
- Minimum lot area: 39,375 sq. ft. Hotel; 10,000 sq. ft. all other uses
- Minimum lot width: 175' Hotel; 100' all other uses
- Minimum lot depth: 225' Hotel; 100' all other uses
- Minimum building setbacks:
 - North (Side): 15'
 - South (Side): 5'
 - East (Front): 20' Hotel; 5' all other uses
 - West (Rear): 50'
 - Internal: 0'
- Lot Coverage: 60%
- Maximum floor area ratio: 3.0

10. Development Standards

All development in a PD district shall comply with the development standards in Article 6: Development Standards, and Article 7: Subdivision Standards, or any modifications of those standards established in the PD Plan/Agreement as consistent with City plans, the objective of the particular type of development standard, the purpose of the particular PD district, and any additional limitations or requirements set forth in Sections 4.8.C, LDC.

Neighborhood Meeting

The applicant conducted a neighborhood meeting on March 31, 2025, as required by the LDC. A summary of the neighborhood meeting prepared by the applicant is in *Attachment E*.

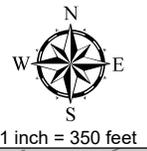
RECOMMENDATION

Staff finds the requested rezone meets the criteria in Sections 3.4.D.3 and 4.8.B, Land Development Code. Staff recommends the Planning Board forward the rezone of ± 4.6 acres from Tourist / Highway Interchange (T-5) to Planned Development-General (PD-G) to the City Commission with a recommendation of approval.

A majority vote by the Planning Board members present and voting is required to forward a recommendation to the City Commission.

The item is tentatively scheduled to be heard by the City Commission for 1st reading on **August 6, 2025**, and for 2nd reading on **August 20, 2025**.

LOCATION MAP



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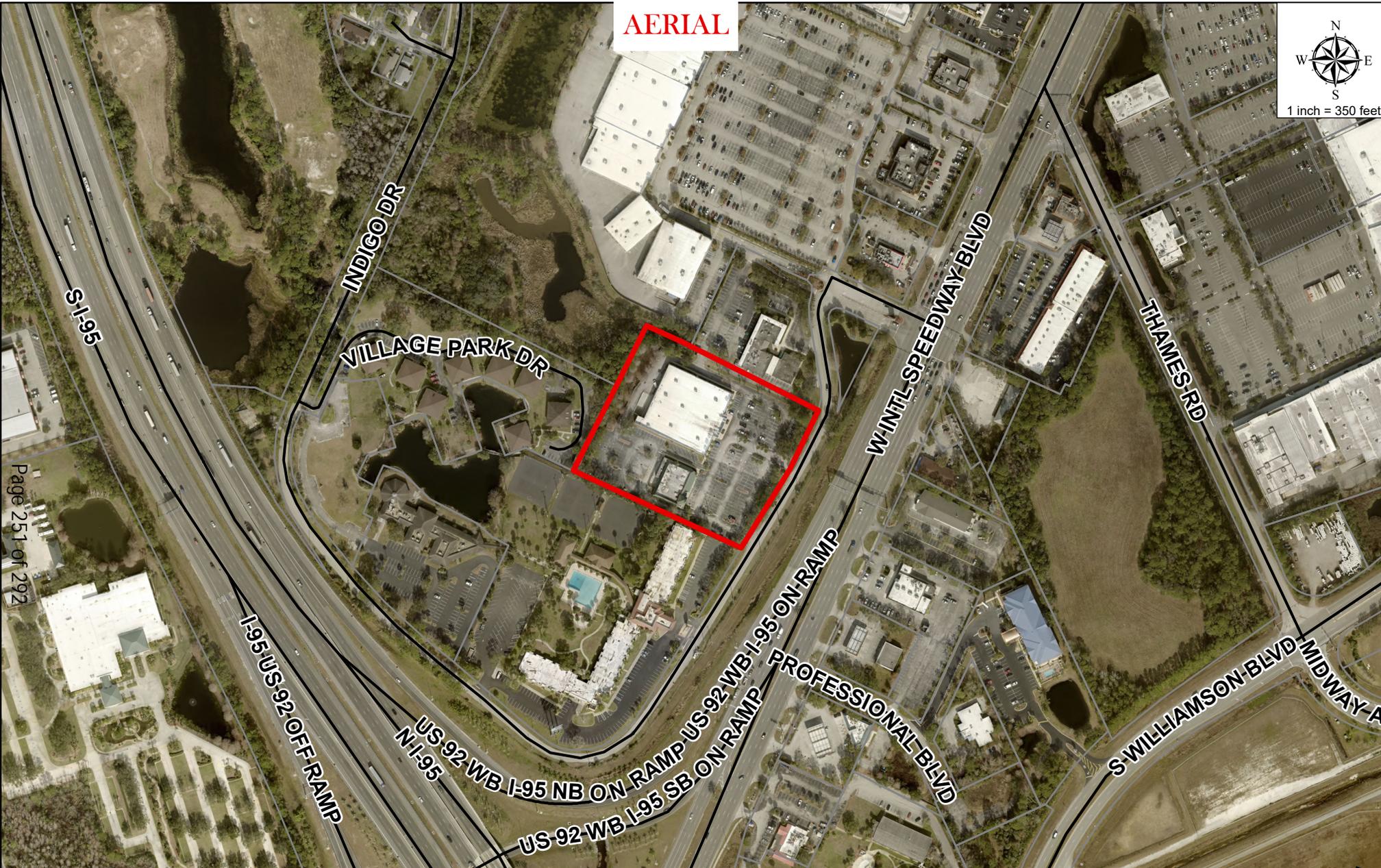
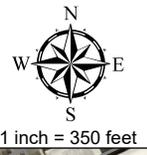


DEV2025-066 DRURY HOTEL PD-G REZONING LOCATION MAP

City of Daytona Beach Map disclaimer:
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Agenda Item #4.D.

AERIAL



Page 251 of 292

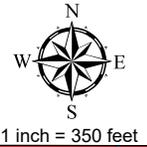
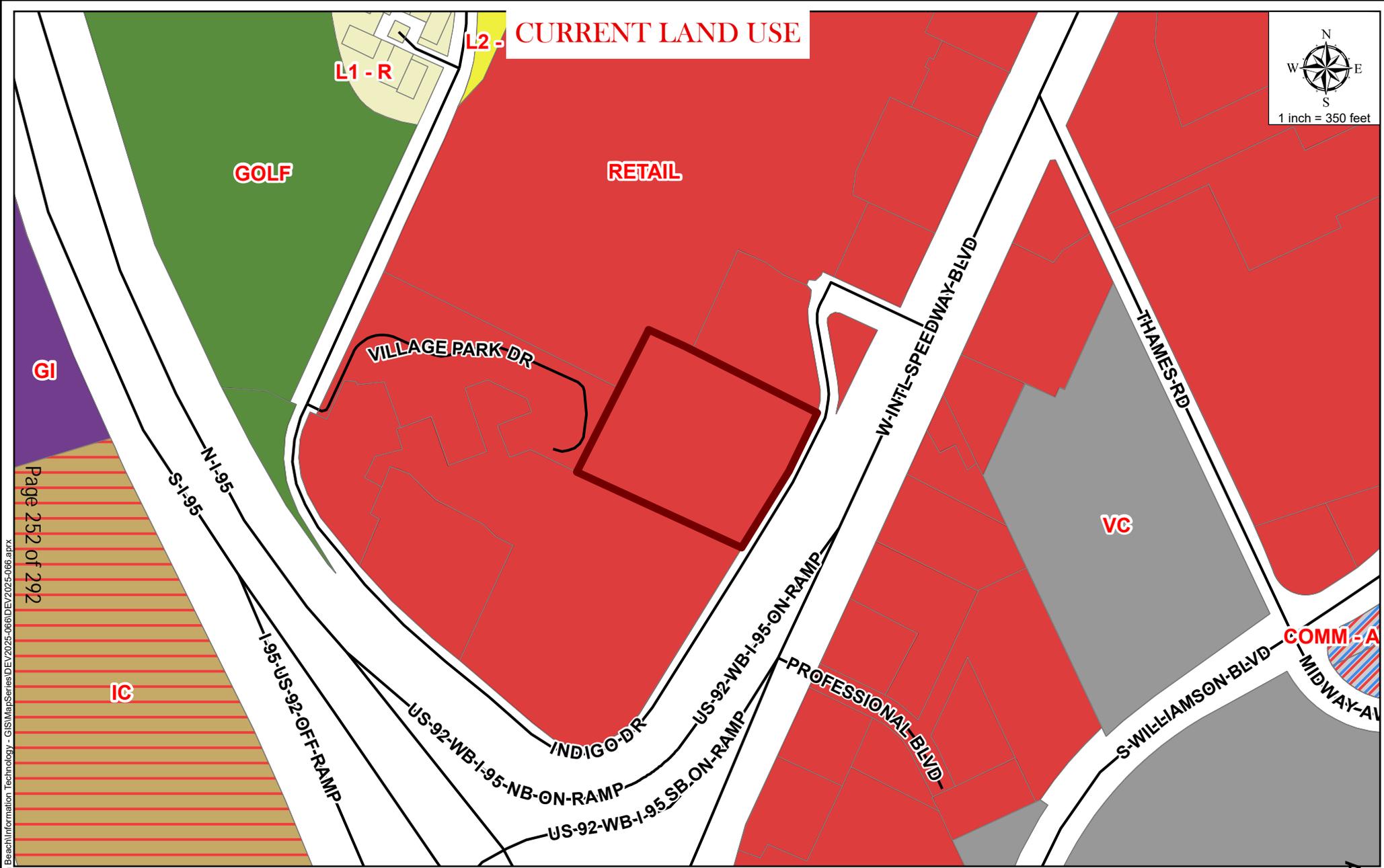
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DEV2025-066 DRURY HOTEL PD-G REZONING AERIAL MAP

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Agenda Item #4.D.



Page 252 of 292

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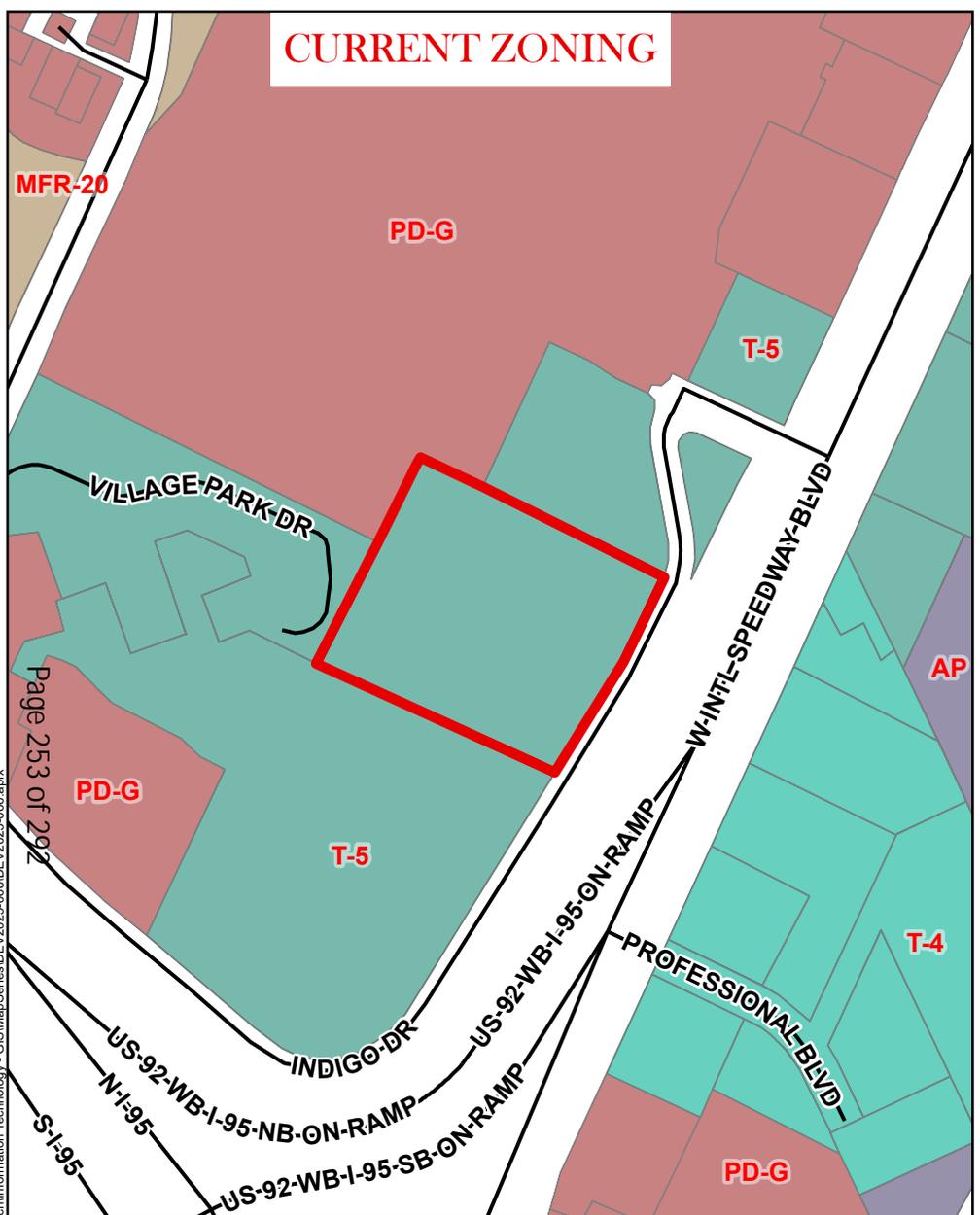
**DEV2025-066
DRURY HOTEL PD-G REZONING
CURRENT LAND USE MAP**

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FOCUS AREA

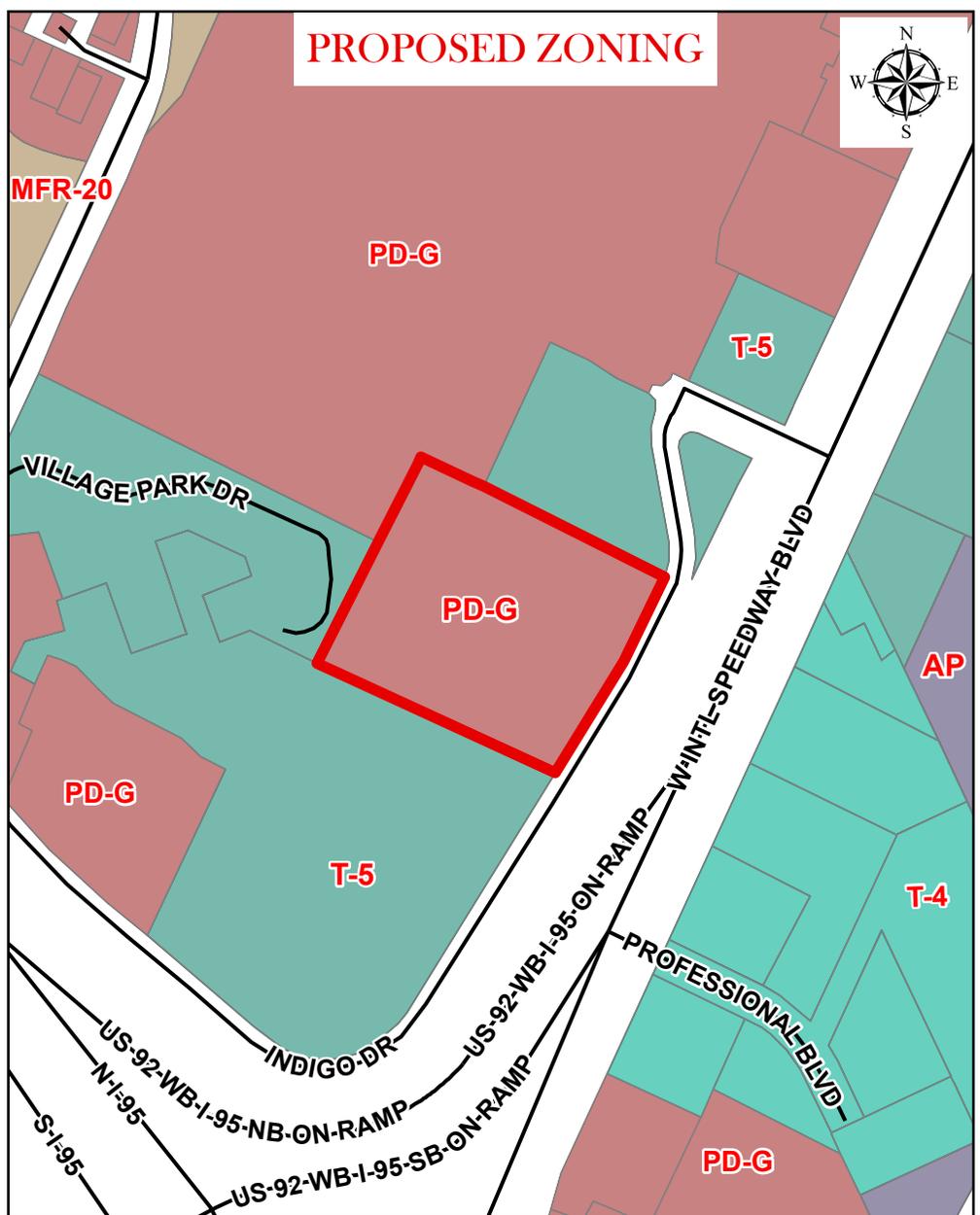
Agenda Item #4.D.

CURRENT ZONING



1 inch = 350 feet

PROPOSED ZONING



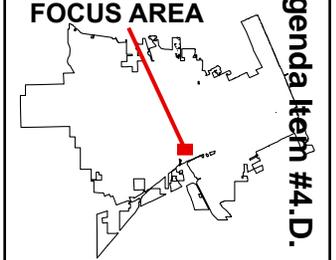
1 inch = 350 feet

Page 253 of 292
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DEV2025-066 DRURY HOTEL PD-G REZONING CURRENT AND PROPOSED ZONING MAP

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Agenda Item #4.D.

By	Date	Description
RH	7/15/2024	ISSUED FOR PERMIT
RH	7/28/2024	REVISED PER COMMENTS

LEGEND

	RIGHT-OF-WAY LINE
	PROPERTY LINE
	EXISTING SANITARY SEWER LINE
	SANITARY SEWER LINE
	STORM SEWER LINE
	EXISTING STORM SEWER LINE
	EXISTING WATER LINE
	WATER LINE
	PHASE 2 AREA

NOTES

- THE CITY MAY REQUIRE THE INSTALLATION OF NEW UTILITY SERVICES. IF THE EXISTING WATER OR SEWER SERVICES ARE NO LONGER VIABLE FOR USE, CONDITION ASSESSMENT TO BE DONE WITH SITE PLAN REVIEW PROCESS. THE PERMITTING AND REPLACEMENT OF THESE SERVICES ARE THE RESPONSIBILITY OF THE DEVELOPER AND/OR DEVELOPER'S REPRESENTATIVE.

PROPERTY OWNER:

DRURY DEVELOPMENT CORPORATION
 13075 MANCHESTER RD., STE. 200, ST. LOUIS, MO 63131
 TEL: (314) 423-6886

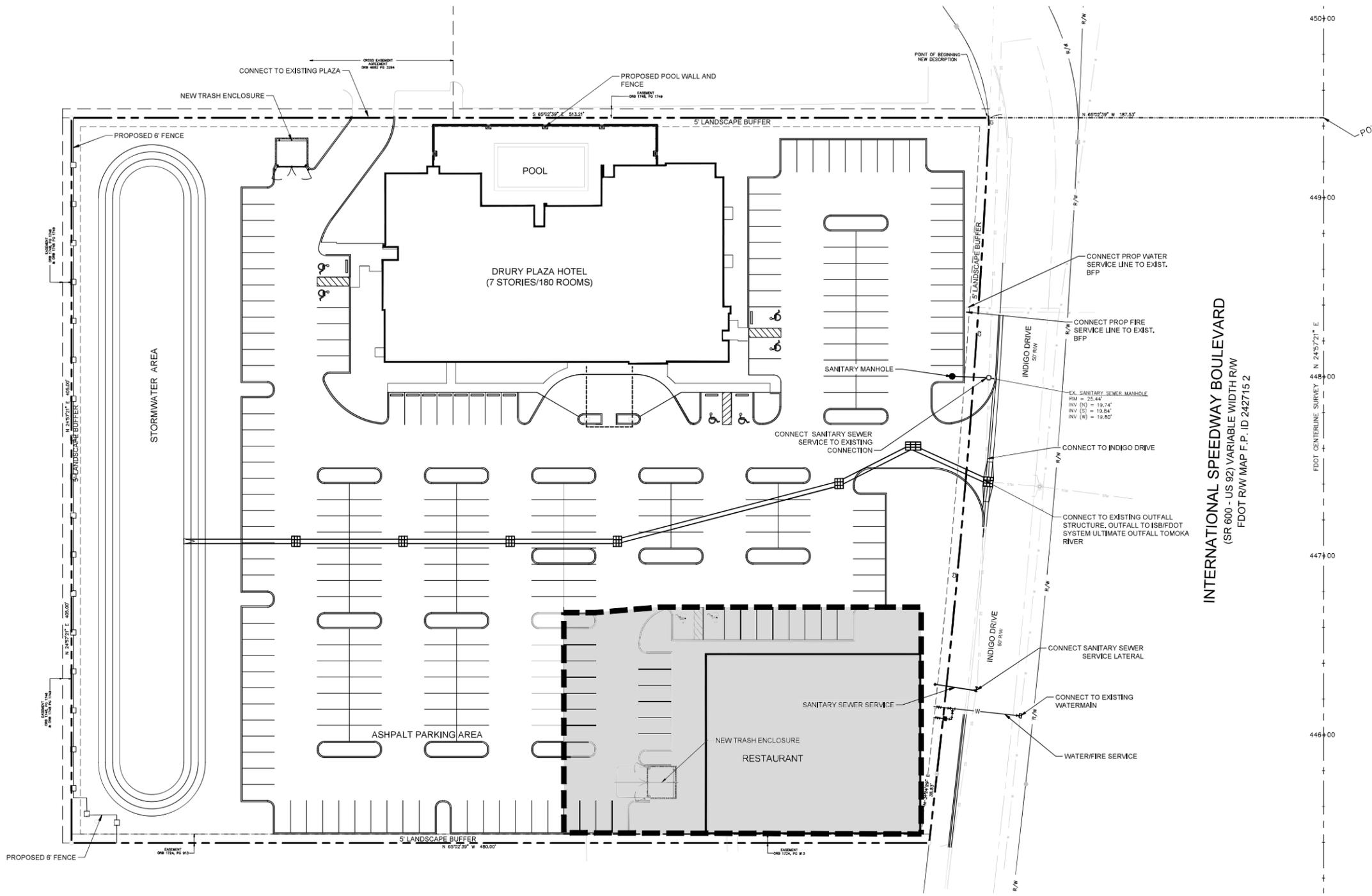
PD OVERALL DEVELOPMENT PLAN

216
DRURY PLAZA HOTEL
 2600 W. INTERNATIONAL SPEEDWAY BLVD., DAYTONA BEACH, FL 32114

RANDY HUDAK, P.E., NO. 65053
 NOT VALID WITHOUT SEAL

DRAWN BY:
CM

SHEET NO:
C3.0



INTERNATIONAL SPEEDWAY BOULEVARD
 (SR 600 - US 92) VARIABLE WIDTH RW
 FDOT RW MAP P.P. ID 242715 2

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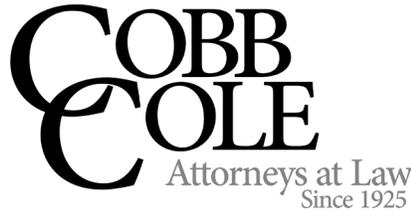
POINT OF BEGINNING NEW DESCRIPTION

POINT OF BEGINNING OLD DESCRIPTION

PO

FOOT CENTERLINE SURVEY: N 24°57'21" E

Scott W. Cichon
Robert A. Merrell III
John P. Ferguson
Mark A. Watts
Heather Bond Vargas
Michael J. Woods
Raymond L. Schumann
Kathleen L. Crotty
Michael O. Sznapstajler
Andrew C. Grant
Matthew S. Welch
Edward H. Thompson
Robert E. Doan
William A. Rice
Douglas J. Collins
Sara E. Glover
Holly W. Zitzka
Jessica L. Gow



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Anne M. Kehrli
Alanna V. Smith

OF COUNSEL
Larry D. Marsh

William M. Cobb (1881-1939)
Thomas T. Cobb (1916-2004)
W. Warren Cole, Jr. (1926-2008)

June 2, 2025

VIA HAND DELIVERY

Dennis L. Mrozek
Planning Director
City of Daytona Beach
301 S. Ridgewood Avenue, Room 240
Daytona Beach, FL 32114

Re: Drury – Planned Development Rezoning - DEV2025-066
Modifications and Benefits Letter

Dear Dennis:

It is this Firm's pleasure to represent Drury Development Corporation (the "Owner") with respect to the requested Planned Development-General Rezoning on their property located at 2600-2610 West International Speedway Boulevard, Daytona Beach, FL which is the subject of DEV2025-066 (the "Property"). The Owner intends to rezone the Property to allow for a hotel project with supporting retail/restaurant uses (the "Project"). The Daytona Beach Land Development Code (LDC) requires Planned Development rezoning applicants to provide a letter detailing any and all code waivers needed to construct their project, as well as the public benefits of the Project which are proposed to compensate for the needed waivers.

We recognize the importance of the standards contained in the City's LDC and have made every commercially reasonable effort to bring forward project consistent with the LDC. However, in this case, the project requires certain minor LDC waivers which are balanced against many significant public benefits.

Public Benefit

The proposed Project offers a valuable opportunity to enhance the City's hospitality infrastructure by delivering lodging and dining services at a highly visible and strategic location. The Property is located just off Interstate-95 and International Speedway Boulevard, positioning it at the main entry point to the City's primary tourist area. Located in close proximity to the renowned Speedway and nearby beaches, the Property is ideally positioned to serve the steady flow of visitors drawn to the City each year by these major attractions. The Project responds directly to the City's growing demand for high-quality accommodations and convenient amenities, particularly in this key area where hotel offerings remain limited despite consistent tourism

activity. The introduction of the Project in this location will also generate lasting employment opportunities within the City and serve as a catalyst for increased economic activity among surrounding businesses.

Drury Development Corporation is a privately held, family-owned and operated real estate development company that owns, develops, designs, and builds Drury hotels. The Drury family of companies owns and operates over 150 hotel properties in 27 states after more than 52 years. The company prides itself on delivering exceptional guest experiences, a distinction that has earned it 18 J.D. Power awards for Highest Overall Guest Satisfaction in its hotel segment and the top hotel brand on *Forbes'* 2024 Customer Experience All-Stars. The company has also been recognized by Newsweek as one of America's Greatest Workplaces for Diversity and by Forbes as one of America's Best Midsize Employers. The proposed hotel (the "Hotel") will offer best in class amenities, including an outdoor pool, meeting facilities, fitness center, complimentary breakfast, evening reception known as 5:30 Kickback® and a lobby food and beverage concept known as Kitchen+Bar equipped with a full-service bar with a limited food menu.

The Project also includes an outparcel retail/restaurant use that will provide a convenient and accessible dining option for guests staying at the hotel as well as the local community. The Owner's current intent is to secure a long-term ground lease with an experienced restaurant operator, ensuring high-quality service and a consistent dining presence within the development. This amenity not only serves hotel guests but also enhances the surrounding area by contributing to the overall activation and appeal of the site.

Waivers

LDC Section 4.5 – Tourist Base Zoning

The LDC allows for custom development criteria to be set forth in a Planned District Agreement. However, it is helpful to identify the modifications from the underlying base zoning district to the proposed standard, which we have set forth herein based on the underlying T-5 zoning district:

Lot width and depth – The Applicant is requesting a modification to allow a minimum lot dimension of 100' x 100' for the proposed retail/restaurant use. This lot size is standard in other business based zoning districts, although the T-5 zoning district sets forth a lot size of 175' x 225'. The combination of hotel and retail/restaurant use creates synergistic parking opportunities for the proposed project with peak parking demand times varying across the two land uses. Therefore, the lot size for the retail/restaurant use promotes shared parking onto the hotel lot and eliminates the need for a larger retail/restaurant lot which would otherwise be required in a standalone retail/restaurant project.

1. Setbacks – The Applicant is requesting a uniform setback program for the Planned District to allow for orderly development of the two proposed uses. The T-5 zoning district typically requires a 20' front setback and a calculated side setback equal to 15' plus 4 inches for every foot of height above 35' for the structures. The Applicant is intending to meet the front setback for the Hotel use and is requesting a 5' setback for the retail/restaurant use to allow for flexibility in its building placement. The Property is situated along Indigo Drive ("Indigo") with over 100' between Indigo and the right of way of International Speedway Boulevard ("ISB"), making visibility from the major

thoroughfare and viability a challenge compared to other retail/restaurant projects along ISB. The placement of the retail/restaurant building closer to Indigo, but still well-spaced from ISB, will assist in viability of a restaurant in this location. The Applicant is also requesting a revision to the side setbacks to provide a 15' north setback for the Hotel and a 5' south setback for the retail/restaurant location, but the Applicant is enhancing the rear setback to 50', which is almost 20' in excess of what the Hotel would require under the underlying zoning district and is intended to act as a buffer to adjacent residential users.

LDC Section 6.2 – Parking

The LDC sets forth certain minimum off-street parking spaces for different use types, and the City's Code allows for an Applicant to establish the minimum off-street parking space requirement based on a parking demand study prepared by the applicant that estimates parking demand based on the recommendations of the Institute of Traffic Engineers (ITE) or other acceptable source of parking demand data, and that includes relevant data collected from uses or combinations of uses that are the same or comparable to the proposed use in terms of density, scale, bulk, area, type of activity, and location. The Applicant has provided a parking demand study that shows parking for the Hotel use within the Property, including typical accessory uses within the hotel structure, shall be provided at a minimum of 0.82 parking spaces per hotel guest room until such time as the Hotel and restaurant uses are both operating.

In the event the Project is phased and the restaurant use is constructed first, parking for the restaurant uses within the Property shall be provided per the LDC at a minimum of one (1) parking space per 50 sq. ft. of restaurant customer service area until such time as the Hotel and restaurant uses are both operating. When both uses are operational the total minimum parking within the Project to accommodate both uses will be the sum of 0.51 parking spaces per hotel guest room plus one (1) space per 50 sq. ft. of restaurant customer service area. To ensure parking demand for the restaurant (when operating simultaneously with the Hotel), the maximum customer service area of the restaurant shall be limited to 8,300 sq. ft. The restriction on the maximum customer service area of the restaurant does not affect nor impose any other restrictions on the restaurant, including but not limited to, total building square footage. The Applicant is also clarifying the minimum parking dimension of a parking space of 9'x18', which is a standard parking dimension used across the Drury portfolio of properties. Building larger parking stalls results in a lower quantity of overall spaces, impacts the parking count, and thus limiting the variety, size, and quantity of potential restaurant operators, while also decreasing greenspace compared to an equivalent parking count using smaller spaces.

LDC Section 6.4 and 6.15 – Landscaping and Tree Preservation

The LDC provides for certain landscaping and tree preservation requirements that are being modified slightly for this site to accommodate the proposed development program. The Applicant is requesting a modification to the typical perimeter landscaping buffer/strip standards set forth in the LDC as further detailed in the Planned District Agreement, and providing the following:

1. Perimeter buffers have been set forth in the PD Agreement to illustrate 5' buffers on the north, south, and east property boundaries, provided that accessory uses may be located within the north buffer as illustrated on the PD Plan, and that where there is a building within 10' of the property boundary, the building shall not be required to provide both a property perimeter and building perimeter landscape buffer. Shade trees typically located

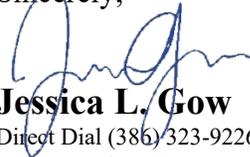
within the east buffer may be reallocated to the rear of the site to assist with visibility and viability of the retail/restaurant lot and provide additional screening from adjacent residential uses. The Applicant is clarifying that pairs of palm trees or shade trees may be used to replace up to 25% of the shade trees required, and that some of the perimeter buffer may be installed upon development of the retail/restaurant outparcel.

2. Where a type D buffer would typically require installation of an opaque wall, the Applicant is requesting that an opaque fence may be utilized to meet this requirement. The Applicant has increased the rear setback to provide additional spacing from uses within the Property and the reallocation of additional shade trees within this area will assist in further screening.

Article 6, Section 6.10 – Signage

The Applicant is requesting modifications to the allowable signage permitted within the site. Section 6.10.K.4 . sets forth signage allowances for Tourist districts, and allows for ground signage up to 120 sq. ft. ,and wall signage up to 120 sq. ft. per parcel. The Applicant is requesting to defer to the LDC for all signage except wall signage. For wall signage, the Applicant is requesting wall signage for each elevation of the Hotel, with a maximum sign area of 187.5 sq. ft. on the east hotel elevation and a maximum sign area of total wall sign area not to exceed 652.5 sq. ft. for the hotel use and 480 for the restaurant/retail user. Given the Hotel’s size, scale, and orientation towards I-95 and ISB, the proposed signage is proportionately sized to adequately advertise and direct guests to the Hotel. The conceptual renderings are included within the Planned District Agreement. Given the additional setback from ISB created by Indigo, the visibility and viability of the retail/restaurant lot are challenged in comparison to other retail/restaurant lots along ISB. Therefore, the quantity and size of the proposed retail/restaurant signage are necessary to the long-term health and success of the retail/restaurant.

Sincerely,



Jessica L. Gow

Direct Dial (386) 323-9226

Email JESSICA.GOW@CobbCole.com



Via email: jared.barebee@drurydevelopment.com

Ref: 6410.11

TECHNICAL MEMORANDUM

To: Jared Barbee, Drury Development Corporation
From: George Galan, P.E.
Subject: Drury Plaza Hotel Redevelopment - Parking Study Daytona Beach, FL
Date: April 7, 2025

INTRODUCTION

LTG, Inc. (LTG) has been retained by Drury Development Corporation to conduct a parking analysis on behalf of the proposed 180 room Limited-Service Hotel and 12,000 square-foot High-Turnover Sit-Down Restaurant located north of Indigo Drive, on the property previously occupied by Miller’s Ale House and Havertys Furniture in the City of Daytona Beach. The analysis will assess the adequacy of the proposed parking supply for the project based on the Institute of Transportation Engineers (ITE) *Parking Generation Manual, 6th Edition* in combination with the City’s Land Development Code (LDC). ITE is a nationally accepted database for parking data.

A successful development requires an adequate parking supply to meet the project’s demand. Overparking a site leads to vacant parking spaces that do not provide any benefit to the project or the community and has a negative impact on the built environment. On the contrary, not allowing for adequate parking opportunity on a site leads to negative impacts to customers and surrounding properties.

ALTERNATIVE PARKING RATIO STUDIES

The parking demand for this development was calculated using the parking generation rates published by the Institute of Transportation Engineers (ITE) *Parking Generation, 6th Edition* for the hotel land use (Land Use Code (LUC) 312 Limited Service Hotel), the City’s Land Development Code (LDC) Table 6.2.C.1 (Eating and Drinking Establishments) for the restaurant land use (High Turnover Sit Down Restaurant LUC 932), and the time of day distribution provided by ITE.

Table 1 shows the parking demand for the proposed hotel calculated using the 85th percentile rate during a typical weekday and Saturday for LUC 312.

Table 1
85th Percentile of Stand-Alone Proposed Hotel
Drury Hotel Redevelopment

Time Period	Land Use	ITE LUC	85th Percentile	Size	Units	Total Parking Demand
Weekday	Limited-Service Hotel	312	T=0.82(X)	180	Rooms	148
Total (without consideration for shared parking):						148
Saturday	Limited-Service Hotel	312	T=0.67(X)	180	Rooms	121
Total (without consideration for shared parking):						121

Source: 6th Edition of *ITE Parking Generation*

Jared Barbee
 April 7, 2025
 Page 2

In the event the project is phased and the hotel is constructed first, parking for the hotel use within the Property can be accommodated at a minimum of 0.82 parking spaces per hotel guest room until such time as the hotel and restaurant uses are both operating, per the ITE.

Table 2 shows the base parking demand for the restaurant use wherein the maximum customer service area of the restaurant is limited to 8,300 square feet (SF). This parking analysis does not affect nor impose any restrictions on the total building square footage permitted for the restaurant under the Planned Development. The sole limitation regarding the restaurant is that the restaurant’s customer service area shall not exceed 8,300 SF. All restaurant types under the City’s LDC (Section 6.2- Off-Street Parking and Loading) are considered “Eating and Drinking Establishments” and all utilize the same parking demand calculation.

Table 2
LDC Stand-Alone Proposed Restaurant Parking
Drury Hotel Redevelopment

Time Period	Land Use	LDC ¹	Size ²	Units	Total Parking Demand
Weekday	Eating and Drinking Establishments	$T=(X)/50$	8.3	KSF	166
Weekday Total (without consideration for shared parking):					166
Saturday	Eating and Drinking Establishments	$T=(X)/50$	8.3	KSF	166
Saturday Total (without consideration for shared parking):					166

¹LDC Table 6.2.C.1: Minimum Number of Off-Street Parking Spaces (1 space per 50 SF of customer service area)

²“Size” of the restaurant refers to customer service area (not total building square footage)

In the event the project is phased, and the restaurant use is constructed first, parking for the restaurant use within the Property can be accommodated at a minimum of one (1) parking space per 50 SF of restaurant customer service area until such time as the hotel and restaurant uses are both operating, per the LDC.

Since peak parking demand times vary for hotel and restaurant uses, the project will function with shared parking between the two land uses. An analysis utilizing the time-of-day distribution per ITE was completed to determine the peak hour of demand when both uses are operating. **Table 3** presents the time of day parking distribution for a hotel using the 85th percentile base assumptions defined by **Table 1** in combination with a restaurant using the City’s LDC base assumptions as defined in **Table 2**. The analysis results in peak hour parking demand between the two land uses on Saturdays at 7:00 p.m.

Jared Barbee
 April 7, 2025
 Page 4

Table 3
Time of Day Distribution Parking Demand
Drury Hotel Redevelopment

Hour Beginning	Weekday Parking Demand						Saturday Parking Demand						
	Hotel (LUC 312)			Restaurant (LUC 932)			Hotel (LUC 312)			Restaurant (LUC 932)			
	% of ITE Required	% of Hotel Room Count	No. of Spaces	% of Code Required	No. of Spaces	Total Spaces Required	% of ITE Required	% of Hotel Room Count	No. of Spaces	% of Code Required	No. of Spaces	Total Spaces Required	
12:00-4:00AM	100%	82%	148	-	-	148	100%	67%	121	-	-	121	
5:00 AM	-	-	-	-	-	-	-	-	-	-	-	-	
6:00 AM	90%	74%	133	-	-	133	80%	54%	96	-	-	96	
7:00 AM	90%	74%	133	-	-	133	81%	54%	98	-	-	98	
8:00 AM	90%	74%	133	-	-	133	80%	54%	96	-	-	96	
9:00 AM	80%	66%	118	-	-	118	79%	53%	95	-	-	95	
10:00 AM	74%	61%	109	-	-	109	70%	47%	84	-	-	84	
11:00 AM	67%	55%	99	28%	46	145	65%	44%	78	33%	55	133	
12:00 PM	65%	53%	96	96%	159	255	61%	41%	74	56%	93	167	
1:00 PM	61%	50%	90	100%	166	256	57%	38%	69	69%	115	183	
2:00 PM	59%	48%	87	51%	85	172	48%	32%	58	58%	96	154	
3:00 PM	58%	48%	86	37%	61	147	50%	34%	60	49%	81	142	
4:00 PM	61%	50%	90	34%	56	146	55%	37%	66	63%	105	171	
5:00 PM	60%	49%	89	56%	93	182	59%	40%	71	77%	128	199	
6:00 PM	62%	51%	92	87%	144	236	66%	44%	80	100%	166	246	
7:00 PM	65%	53%	96	91%	151	247	76%	51%	92	100%	166	258	
8:00 PM	70%	57%	103	73%	121	225	76%	51%	92	85%	141	233	
9:00 PM	75%	62%	111	-	-	111	78%	52%	94	55%	91	185	
10:00 PM	88%	72%	130	-	-	130	87%	58%	105	35%	58	163	
11:00 PM	97%	80%	143	-	-	143	95%	64%	115	-	-	115	
Highest Parking Demand:						256	Highest Parking Demand:						258

Based on the information provided in **Table 3**, the maximum parking demand for a 180 room Limited-Service Hotel (LUC 312) and High-Turnover Sit-Down Restaurant (No breakfast served) (LUC 932) with a maximum customer service area of 8,300 SF based on ITE is 258 parking spaces. Therefore, when both hotel and restaurant uses are both operating, the total minimum parking within the proposed development to accommodate both uses, will be the sum of 0.51 parking spaces per hotel guest room plus one (1) space per 50 SF of restaurant customer service area.

LTG examined alternative development scenarios utilizing the Permitted Uses in the proposed PD to substitute for the High-Turnover Sit-Down Restaurant to determine the maximum peak parking demand when shared with the Hotel. It was determined that alternative land uses in place of the restaurant (LUC 932) did not generate a higher peak parking demand.

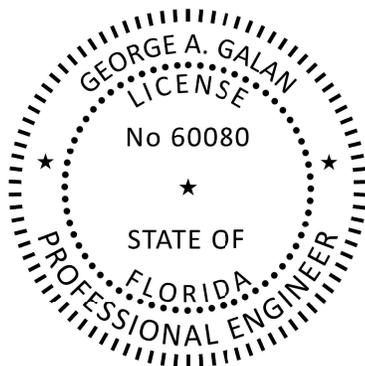
Jared Barbee
April 7, 2025
Page 4

CONCLUSION

Based on the *ITE Parking Generation, 6th Edition* documented evidence exhibited above, parking for the hotel operating independent of the restaurant can be accommodated at a minimum of 0.82 spaces per hotel guest room. Based on the City's LDC Section 6.2 documented evidence exhibited above, parking for the restaurant operating independently of the hotel can be accommodated at a minimum of one (1) space per 50 SF of restaurant customer service area. Based on the ITE time of day distribution documented evidence above, when both uses are operating, parking for the hotel and restaurant combined can be accommodated with a minimum of 0.51 parking spaces per hotel guest room plus one (1) space per 50 SF of restaurant customer service area.

I hereby acknowledge that the procedures and references used to develop the results contained in these computations are standard to the professional practice of Transportation Engineering as applied through professional judgment and experience.

Prepared by:
LTG, Inc.
1450 W. Granada Blvd, Suite 2
Ormond Beach, FL 32174
Certificate of Authorization 9227
386/257-2571



THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY:

George A Galan Date: 2025.04.22
18:48:27-04'00'

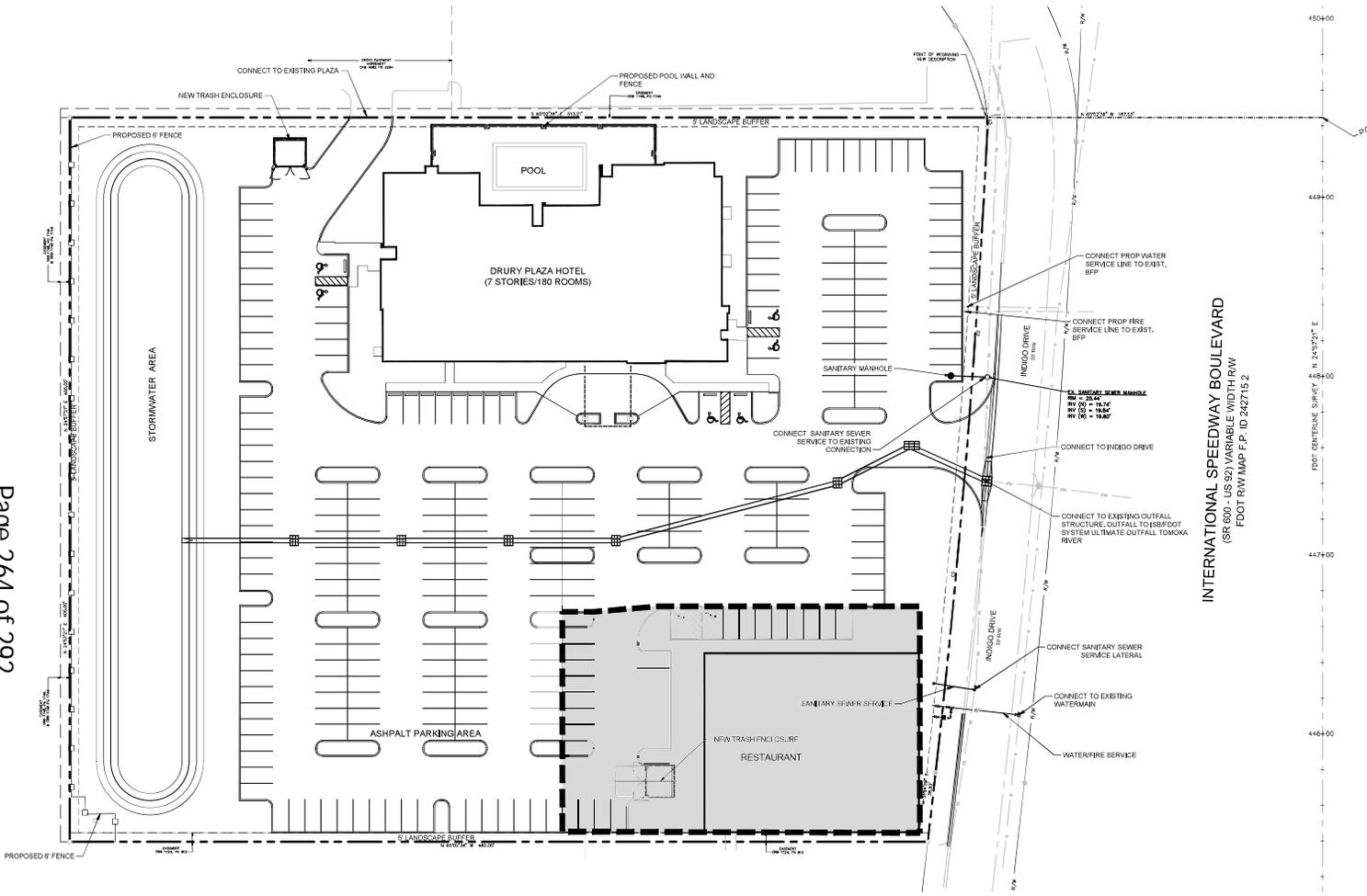
ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT
ARE NOT CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE MUST BE
VERIFIED ON ANY ELECTRONIC COPIES.

LTG, INC.
1450 W. GRANADA BLVD, SUITE 2
ORMOND BEACH, FL 32174
CERTIFICATE OF AUTHORIZATION 9227
GEORGE A. GALAN, P.E. NO. 60080



EXHIBIT A
Proposed Site Plan



INTERNATIONAL SPEEDWAY BOULEVARD
 (SR 800 - US 52) VARIABLE WIDTH RWY
 FOOT ROW/MAP P.P. ID 242716.2



LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- EXISTING SANITARY SEWER LINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- EXISTING STORM SEWER LINE
- EXISTING WATER LINE
- WATER LINE
- PHASE 2 AREA

NOTES

1. THE CITY MAY REQUIRE THE INSTALLATION OF NEW UTILITY SERVICES IF THE EXISTING WATER OR SEWER SERVICES ARE NO LONGER VIABLE FOR USE. CONDITION ASSESSMENT TO BE DONE WITH SITE PLAN REVIEW PROCESS. THE PERMITTING AND REPLACEMENT OF THESE SERVICES ARE THE RESPONSIBILITY OF THE DEVELOPER AND/OR DEVELOPER'S REPRESENTATIVE.



DEV2025-066

PRELIMINARY
NOT FOR
CONSTRUCTION
XX/XX/XX

ENGINEER:
ZEV COHEN & ASSOCIATES, INC.
 2800 W. INTERNATIONAL SPEEDWAY BOULEVARD
 SUITE 1000, DAYTONA BEACH, FL 32114
 WWW.ZEVCOHEN.COM

SHEET ISSUED		
13112025		
REVISIONS		
By	Date	Description
BA	4/15/2025	REVISED PER COMMENTS

PROPERTY OWNER:
DRURY DEVELOPMENT CORPORATION
 1870 MANCHESTER STREET, SUITE 100, MD 6331
 DAYTONA BEACH, FL 32114
 TEL: (317) 425-0600

PD OVERALL DEVELOPMENT PLAN # 217
DRURY PLAZA HOTEL
 2800 W. INTERNATIONAL SPEEDWAY BOULEVARD, DAYTONA BEACH, FL 32114

RANDY HUDAK, P.E. 1300.8553
 NOT VALID WITHOUT SIGNATURE

DRAWN BY:
 CM

SHEET NO.
C3

ATTACHMENT #4.D.

EXHIBIT B

ITE Parking Generation Printouts

Land Use: 932 High-Turnover (Sit-Down) Restaurant

Description

A high-turnover (sit-down) restaurant is full-service eating establishment with a typical duration of stay of 60 minutes or less. This type of restaurant is usually moderately priced, frequently belongs to a restaurant chain, and is commonly referred to as casual dining. Generally, these restaurants serve lunch and dinner; they may also be open for breakfast and are sometimes open 24 hours a day. These restaurants typically do not accept reservations. A patron commonly waits to be seated, is served by wait staff, orders from a menu, and pays after the meal. Some facilities offer carry-out for a small proportion of their customers. Some facilities within this land use may also contain a bar area for serving food and alcoholic drinks.

Land Use Subcategory

Data are separated into two subcategories for this land use:

- Restaurants that serve breakfast
- Restaurants that do not serve breakfast

The “serves breakfast” subcategory includes restaurants that serve customers during breakfast, lunch, and dinner; during breakfast and lunch; and during breakfast only. The “does not serve breakfast” subcategory includes restaurants that serve customers during lunch and dinner, during dinner only, and during lunch only.

Time-of-Day Distribution for Parking Demand

The following table presents a time-of-day distribution of parking demand on a weekday (Monday–Thursday) at restaurants that serve breakfast, lunch, and dinner (10 study sites) and at restaurants that serve only lunch and dinner (25 sites). The following table also presents a time-of-day distribution of parking demand on a Saturday at restaurants that serve breakfast, lunch, and dinner (nine study sites) and at restaurants that serve only lunch and dinner (six sites).

Hour Beginning	Percent of Monday–Thursday Peak Parking Demand		Percent of Saturday Peak Parking Demand	
	Serving Breakfast, Lunch, and Dinner	Serving Lunch and Dinner	Serving Breakfast, Lunch, and Dinner	Serving Lunch and Dinner
12:00–4:00 a.m.	–	–	–	–
5:00 a.m.	–	–	–	–
6:00 a.m.	–	–	–	–
7:00 a.m.	–	–	–	–
8:00 a.m.	64	–	55	–
9:00 a.m.	74	–	76	–
10:00 a.m.	82	–	91	–
11:00 a.m.	89	28	100	33
12:00 p.m.	100	96	97	56
1:00 p.m.	86	100	91	69
2:00 p.m.	57	51	73	58
3:00 p.m.	44	37	51	49
4:00 p.m.	39	34	43	63
5:00 p.m.	62	56	57	77
6:00 p.m.	73	87	66	100
7:00 p.m.	95	91	80	100
8:00 p.m.	76	73	62	85
9:00 p.m.	–	–	–	55
10:00 p.m.	–	–	–	35
11:00 p.m.	–	–	–	–

Additional Data

If the restaurant has outdoor seating, its area is not included in the overall gross floor area. For a restaurant that has significant outdoor seating, the number of seats may have a more direct relationship to site-generated parking demand than GFA.

The average parking supply ratio for the 55 study sites with parking supply information in a general urban/suburban setting is 16 spaces per 1,000 square feet GFA. The average parking supply ratio for the five study sites with parking supply information in a dense multi-use urban setting is 11 spaces per 1,000 square feet GFA. The average peak parking occupancy is 74 percent at the general urban/suburban sites and 88 percent at the dense multi-use urban sites.

The sites were surveyed in the 1990s, the 2000s, the 2010s, and the 2020s in Arizona, British Columbia (CAN), California, Florida, Illinois, Indiana, Maine, Maryland, Massachusetts, Minnesota, New Jersey, New York, North Carolina, Oregon, Pennsylvania, Texas, Virginia, Washington, and Wisconsin.

Source Numbers

168, 218, 274, 276, 299, 527, 531, 556, 557, 567, 568, 618, 619, 620, 622, 626, 628, 637

Land Use: 312 Limited-Service Hotel

Description

A limited-service hotel provides overnight sleeping accommodations and other limited facilities, such as a swimming pool or fitness room. A limited-service hotel typically does not have a doorman, bellhop, or concierge; has little or no meeting room space; and does not have a full-service restaurant. Food service options are typically limited to a small food pantry that offers items for sale on a retail basis; or a complimentary breakfast buffet or afternoon beverage bar for hotel guests; or a limited-menu, order-at-the-counter restaurant.

Time-of-Day Distribution for Parking Demand

The following table presents a time-of-day distribution of parking demand on a weekday at one study site in a general urban/suburban setting.

Hour Beginning	Percent of Peak Parking Demand
	Weekday
12:00–4:00 a.m.	100
5:00 a.m.	—
6:00 a.m.	—
7:00 a.m.	80
8:00 a.m.	51
9:00 a.m.	39
10:00 a.m.	34
11:00 a.m.	34
12:00 p.m.	33
1:00 p.m.	28
2:00 p.m.	26
3:00 p.m.	30
4:00 p.m.	37
5:00 p.m.	40
6:00 p.m.	49
7:00 p.m.	53
8:00 p.m.	61
9:00 p.m.	71
10:00 p.m.	83
11:00 p.m.	89

Additional Data

Parking demand at all lodging land uses may be related to the recent emergence of transportation network companies (TNCs) (also referred to as ride-share or ride-hailing companies). Hotel parking demand may be reduced if a hotel guest uses a TNC service for hotel drop-off or pick-up rather than using a rental car and parking on-site. Additional data are needed in order to measure and understand the potential impact of TNCs on lodging land use parking demand.

The average parking supply ratio for the 14 study sites in a general urban/suburban setting and with parking supply information is 0.99 spaces per room. The average peak parking occupancy at these 14 sites is 69 percent.

The sites were surveyed in the 1990s, the 2000s, the 2010s, and the 2020s in California, Florida, Virginia, and Washington.

For all lodging uses, it is important to collect data on occupied rooms as well as total rooms. Future data submissions should indicate the presence of supporting facilities and the level of activity/event taking place during the count period (e.g., full, empty, partially active; number of people attending a meeting/banquet). Data on the presence and usage of TNC service should be documented for all lodging land uses for future analysis purposes.

Source Numbers

217, 311, 314, 401, 512, 526, 608, 622

Limited-Service Hotel (312)

Peak Period Parking Demand vs: Rooms

On a: Weekday (Monday - Friday)

Setting/Location: General Urban/Suburban

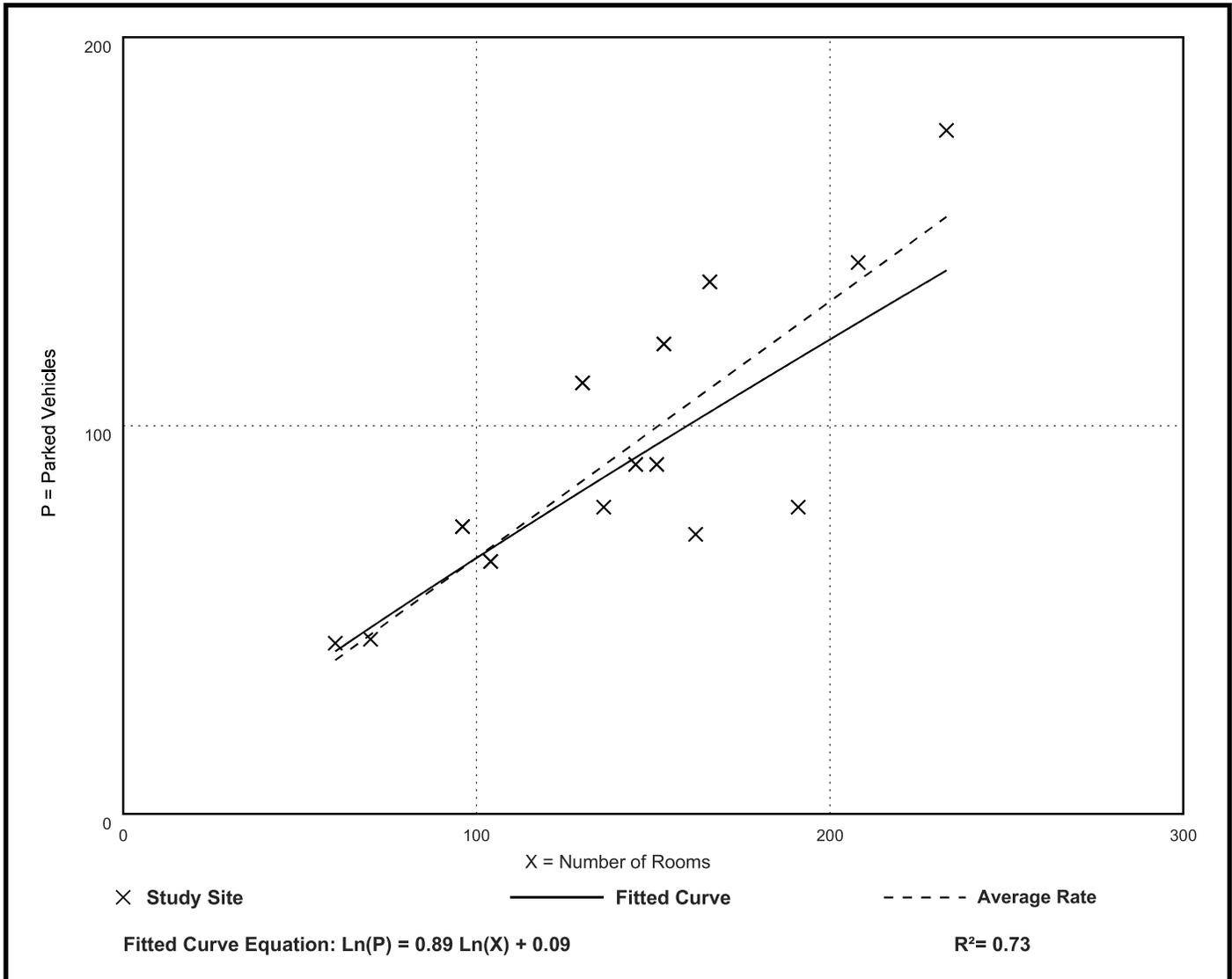
Number of Studies: 14

Avg. Num. of Rooms: 143

Peak Period Parking Demand per Room

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.66	0.41 - 0.85	0.62 / 0.82	***	0.14 (21%)

Data Plot and Equation



Limited-Service Hotel (312)

Peak Period Parking Demand vs: Rooms

On a: Saturday

Setting/Location: General Urban/Suburban

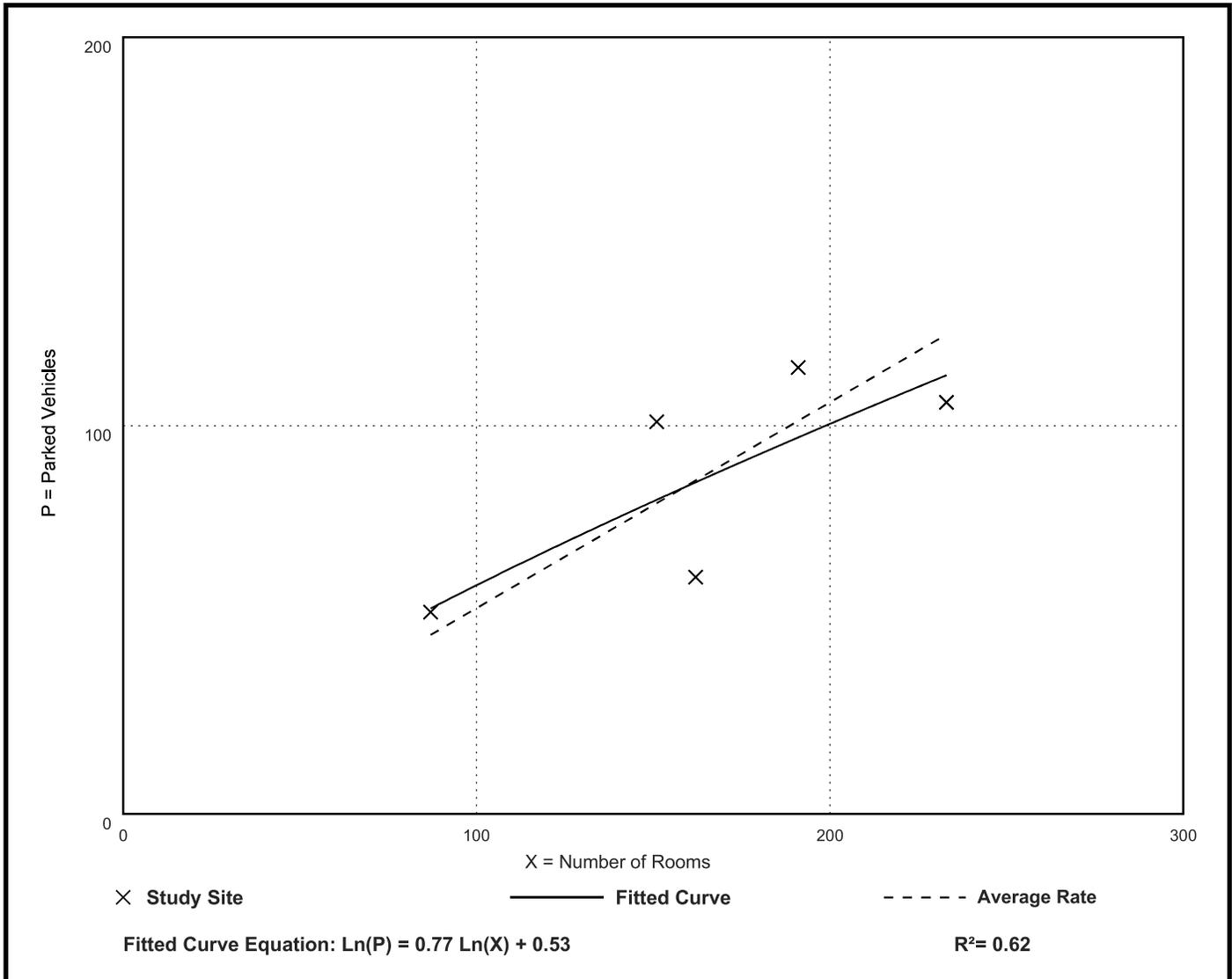
Number of Studies: 5

Avg. Num. of Rooms: 165

Peak Period Parking Demand per Room

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.53	0.38 - 0.67	0.45 / 0.67	***	0.12 (23%)

Data Plot and Equation



ENGINEER:

ZEV COHEN & ASSOCIATES, INC.
 300 INTERCHANGE BLVD., STE. C
 OAKLAND BEACH, FL 32174
 WWW.ZEVCOHEN.COM

DEV2025-066

SHEET ISSUED:
12/11/2024

REVISIONS:

By	Date	Description
RH	4/15/2025	REVISIONS TO THE PLAN
RH	5/28/2025	REVISIONS TO THE PLAN

PROPERTY OWNER:
DRURY DEVELOPMENT CORPORATION
 13075 MANCHESTER RD., STE. 200, ST. LOUIS, MO 63131
 TEL: (314) 423-6886

216
DRURY PLAZA HOTEL
 2600 W. INTERNATIONAL SPEEDWAY BLVD., DAYTONA BEACH, FL 32114

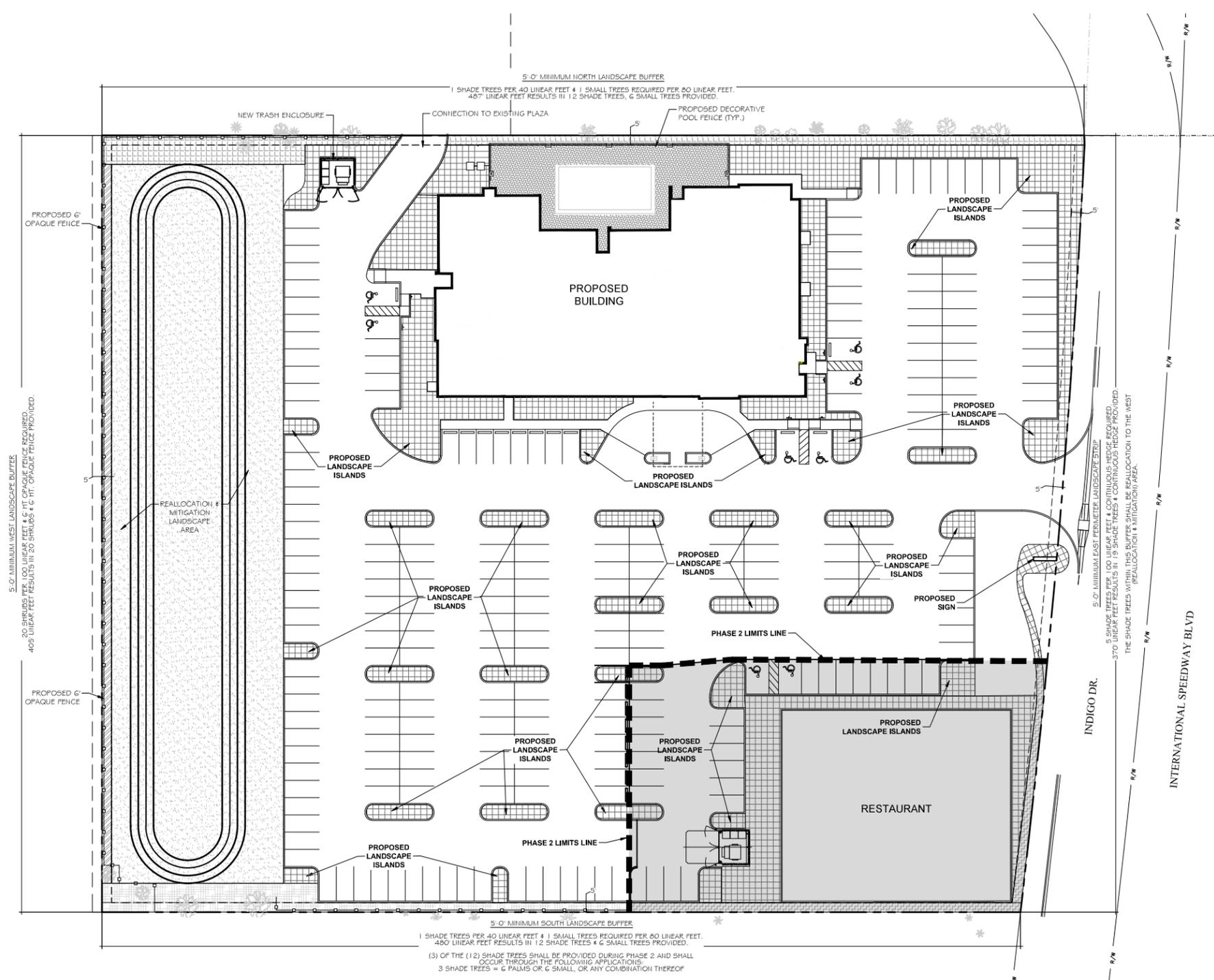
PD LANDSCAPE PLAN - EXHIBIT B

DRAWN BY:
CM

SHEET NO:

L1.0

Agenda Item #4.D.

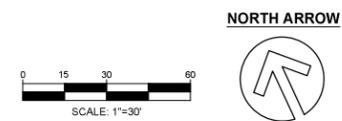


TREE COVERAGE
 REQUIRED: 15%
 PROVIDED: 15%

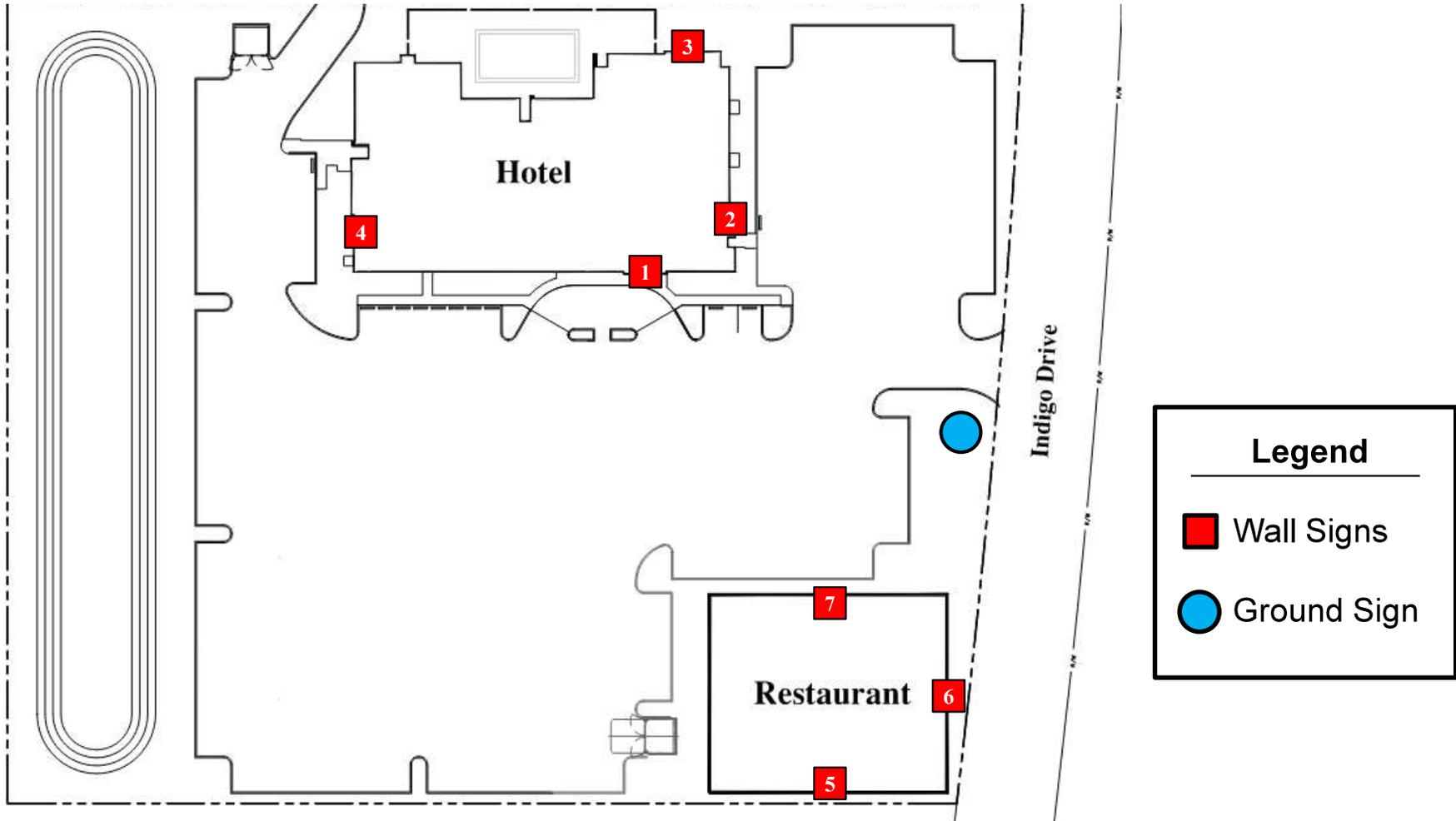
CONCEPT PLANT SCHEDULE

[Pattern]	IMPROVED LANDSCAPE AREA
[Pattern]	NORTH BUFFER LANDSCAPE AREA
[Pattern]	SOUTH BUFFER LANDSCAPE AREA
[Pattern]	WEST BUFFER LANDSCAPE AREA
[Pattern]	PHASE 2 BUFFER LANDSCAPE AREA
[Pattern]	REALLOCATION & MITIGATION LANDSCAPE AREA
[Pattern]	PHASE 2 AREA

- NOTES:
1. SITE IS LOCATED WITHIN FLOOD ZONE X.
 2. ALL EXISTING DRAINAGE PATTERNS OF OFF-SITE PROPERTIES SHALL BE MAINTAINED OR ACCOMMODATED WITHIN THE STORMWATER MANAGEMENT SYSTEM.
 3. ALL APPLICABLE FEDERAL AND STATE PERMITS SHALL BE OBTAINED.
 4. ANY EXISTING OR PROPOSED UTILITIES TO BE PUBLIC SHALL BE LOCATED WITHIN AN EASEMENT OR PUBLIC RIGHT-OF-WAY.
 5. STORMWATER AND UTILITY CONNECTIONS POINTS AND SIZES TO BE DETERMINED WITH SITE DESIGN.
 6. USES AND AREAS SHOWN ARE FOR PLANNING PURPOSES ONLY ACTUAL USES AND LOCATIONS WILL BE DETERMINED AT SITE PLAN.

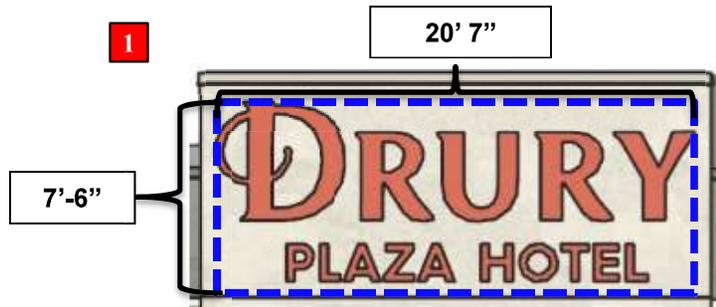


Signage Site Plan



Note: The signs depicted throughout this Sign Plan are for illustrative purposes only and are not to scale. They may not accurately represent their precise location, orientation, or size, except where maximum sign area is explicitly stated. The sign graphics included in this Sign Plan are conceptual. For all signs, tenants/users with a state or federally registered trademark shall be permitted to utilize such tenant/user's recognized corporate logos, fonts, styles, etc., or otherwise complimentary to the tenant/user's building's architecture. Tenants/users without such trademarks shall be permitted to utilize logos, fonts, styles, etc., that are complimentary to the tenant/user's building's architecture.

Drury - South Elevation (Front) Wall Sign

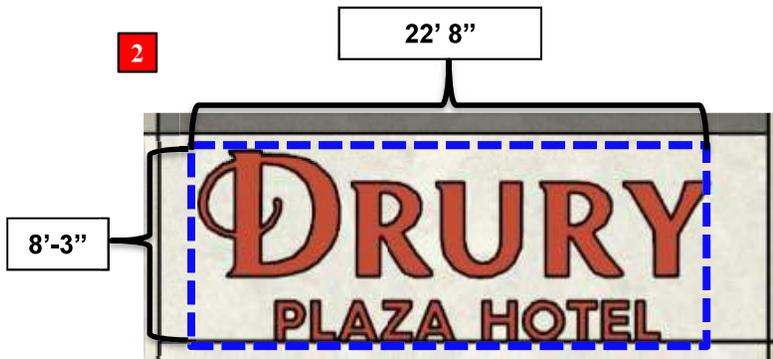


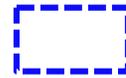
 = 155 sf

Individually Mounted Channel Letter Signs



Drury - East Elevation (Right) Wall Sign

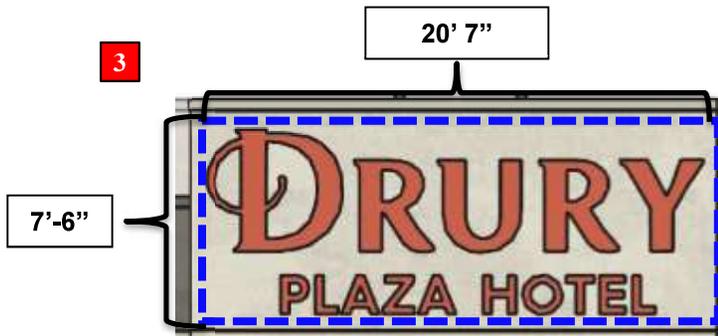


 = 187.5 sf

Individually Mounted Channel Letter Signs



Drury - North Elevation (Rear) Wall Sign

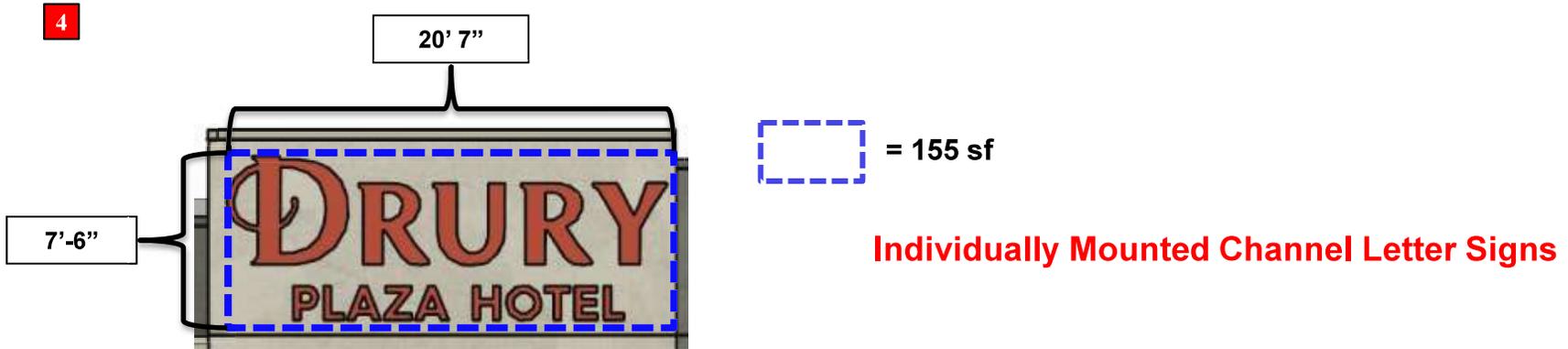


 = 155 sf

Individually Mounted Channel Letter Signs



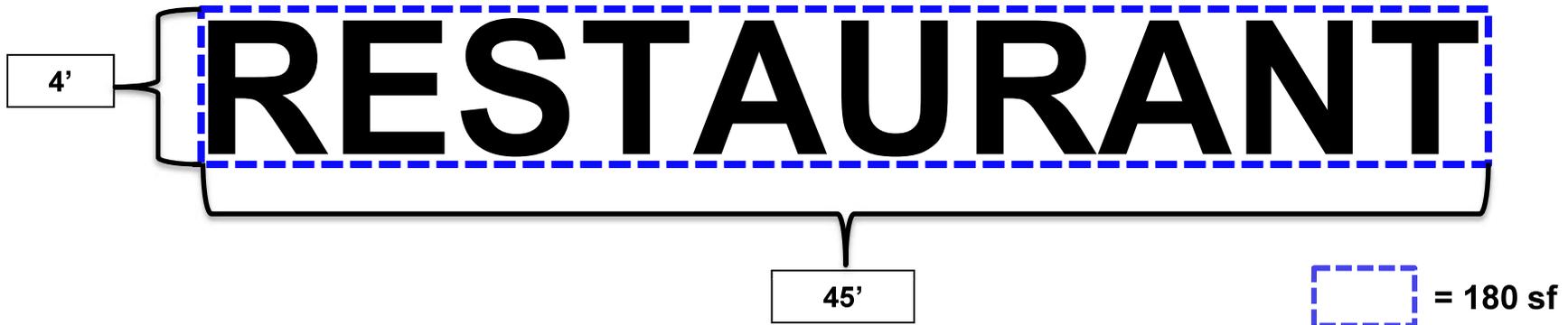
Drury - West Elevation (Left) Wall Sign



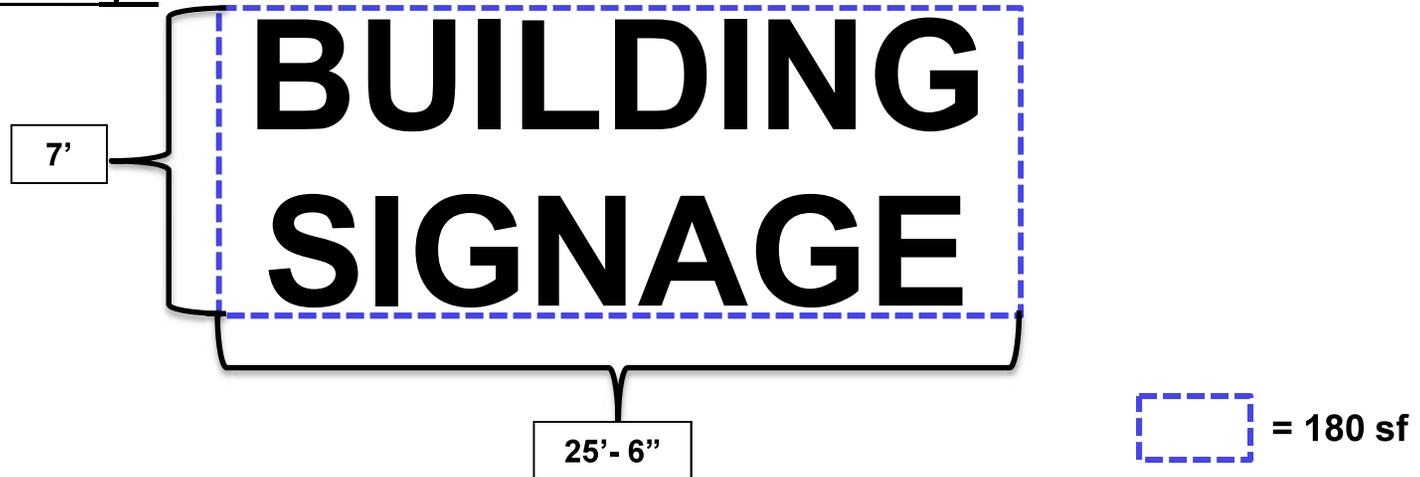
Restaurant – South & East Elevations Wall Signs

5 6

Linear Wall Sign Example



Stacked Wall Sign Example

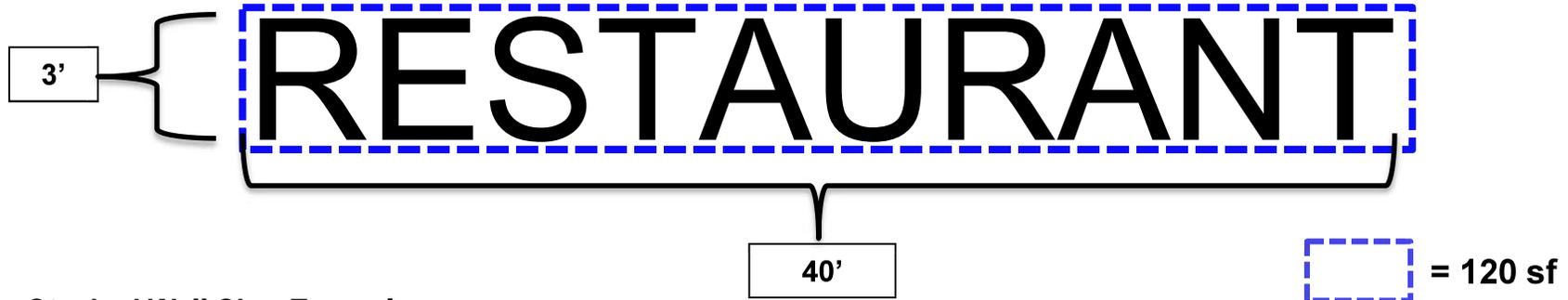


****The two example wall sign orientations shown above are conceptual and provided for illustrative purposes only. For the south and east elevations of the Restaurant Building, as long as the total sign area for each individual wall does not exceed the allowable limit of 180 square feet, as outlined in the PD Agreement, the wall signs may be oriented at the discretion of the end user.**

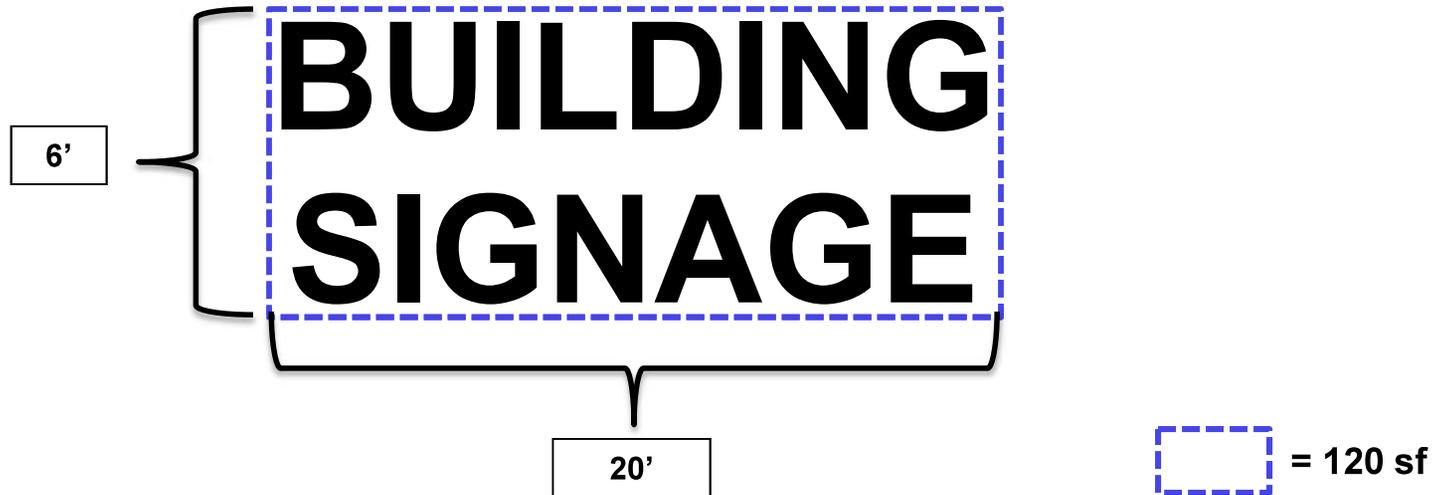
Restaurant –North Elevation Wall Sign

7

Linear Wall Sign Example

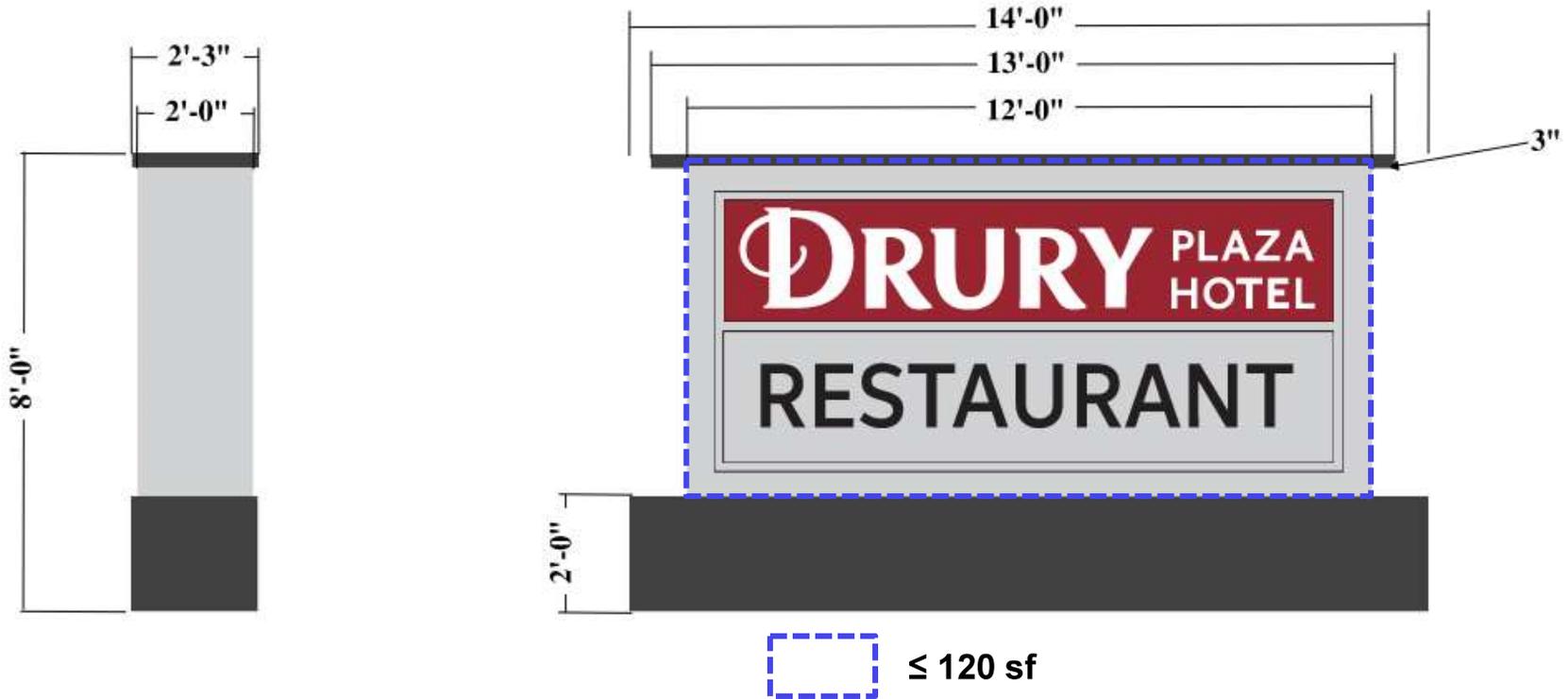


Stacked Wall Sign Example



****The two example wall sign orientations shown above are conceptual and provided for illustrative purposes only. As long as the total sign area for the north elevation of the Restaurant Building does not exceed the allowable wall sign area of 120 square feet, as outlined in the PD Agreement, the wall sign may be oriented at the discretion of the end user.**

Ground Sign



****The ground sign design shown herein is conceptual and for illustrative purposes only. The finished ground sign will stand at a maximum of 8' in height and have a maximum of 3' of depth. The ground sign will be double-sided, with identical displays on both faces. The total sign area on each side will be a maximum of 120 square feet. Ground sign setback requirements are set forth in the Planned Development Agreement.**

Sign Plan Summary

Proposed Drury Plaza Hotel Wall Sign Maximum Sign Areas

South Elevation Building Sign:	155 sf
East Elevation Building Sign:	187.5 sf
North Elevation Building Sign:	155 sf
West Elevation Building Sign:	155 sf

Proposed Restaurant Wall Sign Maximum Sign Areas

South Elevation Building Sign:	180 sf
East Elevation Building Sign:	180 sf
North Elevation Building Sign:	120 sf

Proposed Ground Sign Maximum Sign Area: 120 sf

****The proposed ground sign meets the requirements of the Tourist District Sign Schedule as set forth in the City of Daytona Beach's Land Development Code regarding dimensions and sign area for ground signage.**



Daytona Beach • DeLand

To: Dennis Mrozek

From: Alanna V. Smith, Esq.

Date: April 15, 2025

Client/Matter #: DEV2025-066 – Drury Planned Development-General Rezoning

Subject: Neighborhood Meeting Summary – March 31, 2025

A neighborhood meeting was held at the Fairfield Inn & Suites located at 1820 Checkered Flag Blvd., Daytona Beach, FL 32114, on March 31, 2025, at 6:00 p.m.

Rob Merrell and Alanna Smith from Cobb Cole were in attendance to explain the request. Randy Hudak and Spencer Kershaw from Zev Cohen were in attendance on behalf of engineering, and Kirsten Fawcett was in attendance on behalf of Lassiter Transportation Group. Jared Barbee, Brent Ricketts, and Mark Kohl were also in attendance on behalf of the property owner. One interested resident attended the meeting to review the request. See the attached sign-in sheet.

Mr. Barbee provided an overview of the request to rezone the site to a Planned Development (“PD”) for the development of a proposed 7-story, 180-room Drury hotel, along with an outparcel restaurant with the intent of securing a long-term ground lease with a restaurant operator. The development team presented a graphic depicting the site plan and renderings to illustrate the proposed layout.

The resident in attendance asked the development team what attracted them to Daytona for the project. Mr. Barbee explained that the hotel will feature amenities, including complimentary breakfast and evening receptions with food and beverages, which cater to the leisure-driven travelers visiting Daytona’s attractions, including the beach and speedway events. Mr. Barbee also highlighted the site's prime location along ISB and I-95, positioning it at the gateway to the tourist corridor. The resident agreed.

The resident also asked about specific features of the proposed hotel, including whether it will offer suites and whether there will be a restaurant within the hotel. Mr. Barbee explained that the hotel will offer a number of suite-style rooms that include living quarters and a second bedroom for guests. He also stated that the hotel will include a full-service lobby bar, called Kitchen+Bar, that will offer a limited food menu, while the intent with the outparcel restaurant will be to secure a more full-service restaurant operation.

Mr. Merrell provided a brief overview of the rezoning process, explaining that the request is currently undergoing staff review and then will be scheduled for public hearings where it will appear first before Planning Board followed by two City Commission readings.

The resident in attendance stated that he was very pleased with the proposed layout and location of the project and expressed enthusiasm for its arrival to the area.

We have included the list of the property owners to whom we sent the Invitation to the Neighborhood Meeting, and a copy of the Invitation.

Thank you.

DRURY PLANNED DEVELOPMENT

DEV2025-066

NEIGHBORHOOD MEETING

FAIRFIELD INN & SUITES

1820 Checkered Flag Boulevard, Daytona Beach, FL 32114

March 31, 2025

6:00 P.M.

SIGN IN SHEET

<u>NAME</u>	<u>ADDRESS</u>	<u>PHONE OR EMAIL</u>
Alanna Smith	One Daytona Blvd.	386-736-7700
Rob Merrell	One Daytona Blvd.	386-323-9263
Randy Hudak	300 Interchange Blvd.	386-677-2482
Spencer Kasher	"	386-677-2922
Kirsten Fawcett	385 Bill France Blvd	727-967-7828
Ed Ben	560 Cleaveland St	386-311-3009
Mark Kohl		314-423-6698
Brent Ricketts		"
Jared Barber		"

NEIGHBORHOOD MEETING REQUIREMENTS
THE CITY OF DAYTONA BEACH, FLORIDA

I, the undersigned, hereby certify that I have mailed to the following named property owners whose property is within 500 feet of that property which is the subject of an application for a Planned Development (PD) pursuant to the Land Development Code (LDC) of The City of Daytona Beach, Florida, a notice containing the time, date, location, and general nature of the development proposal. I, the undersigned, also hereby certify that I have posted notice of the neighborhood meeting on the property which is the subject of an application for a Planned Development (PD). The mailed notices were sent at least ten (10) days prior to the neighborhood meeting date. The posted notices were posted on the affected property, viable from each adjoining right-of-way, at least (10) days prior to the neighborhood meeting date.

This form, a certified copy of the mailing list (obtained from the Volusia County Property Appraiser's Office) photos of the posted notices, and a written summary of the neighborhood meeting complying with Section 3.3.B of the LDC must be submitted to City Staff at least 14 days before the application is reviewed by an advisory board or decision-making board (if no advisory board is involved).

Project Number DEV2025-066 Hearing Date _____

Typed/Printed Name Tequila Nelson

Signature (sign after reading) [Handwritten Signature]

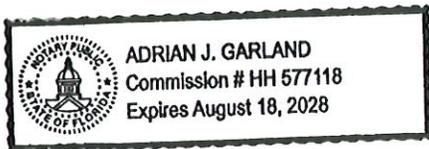
Address One Daytona Blvd. Suite 600 Daytona Beach FL 32114

STATE OF FLORIDA
COUNTY OF Volusia

The foregoing instrument was acknowledged before me this 20th day of March, 2025, by Tequila Nelson, who is personally known to me or has produced _____.

NOTARY PUBLIC – STATE OF FLORIDA

[Handwritten Signature]

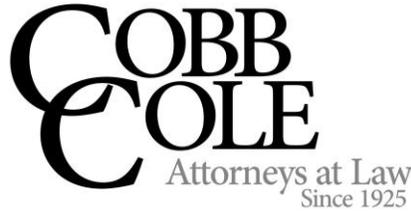


NAME OF NOTARY – TYPED OR PRINTED

Adrian Garland

COMMISSION # HH 577118

Scott W. Cichon
Robert A. Merrell III
John P. Ferguson
Mark A. Watts
Heather Bond Vargas
Michael J. Woods
Raymond L. Schumann
Kathleen L. Crotty
Michael O. Sznajstajler
Matthew S. Welch
Edward H. Thompson
Robert E. Doan
William A. Rice
Douglas J. Collins
Sara E. Glover
Holly W. Zitzka
Jessica L. Gow



Daytona Beach • DeLand
One Daytona Boulevard, Suite 600
Daytona Beach, Florida 32114
(386) 255-8171 | CobbCole.Com

Sydney V. Cichon
Anthony E. Aguanno
Baylee D. Bunyard
Anne M. Kehrli
Alanna V. Smith

OF COUNSEL
Larry D. Marsh
Ira Halfond

William M. Cobb (1881-1939)
Thomas T. Cobb (1916-2004)
W. Warren Cole, Jr. (1926-2008)

March 20, 2025

INVITATION TO NEIGHBORHOOD MEETING

Dear Neighbor:

The law firm of Cobb Cole has the pleasure of representing Drury Development Corporation (“Owner”), in connection with their application for a PD Rezoning on the property located along 2600-2610 West International Speedway Blvd., Daytona Beach, FL as shown on the attached map. The owner intends to redevelop the site to allow for development of a Drury-branded hotel and a supporting retail/restaurant use.

As neighbors to the proposed development, we would like to invite you to discuss the project on **Monday March 31, 2025, at 6:00 p.m. at the Fairfield Inn & Suites, 1820 Checkered Flag Blvd., Daytona Beach, FL 32114.**

You may provide written comments or questions regarding this request by email to Tequila.nelson@CobbCole.com or by letter to Tequila Nelson, Cobb Cole, One Daytona Boulevard, Suite 600, Daytona Beach, FL 32114. Please include your name, address, and contact information in your correspondence. A copy of any correspondence received prior to the meeting will be included in the summary of the meeting provided to the City of Daytona Beach.

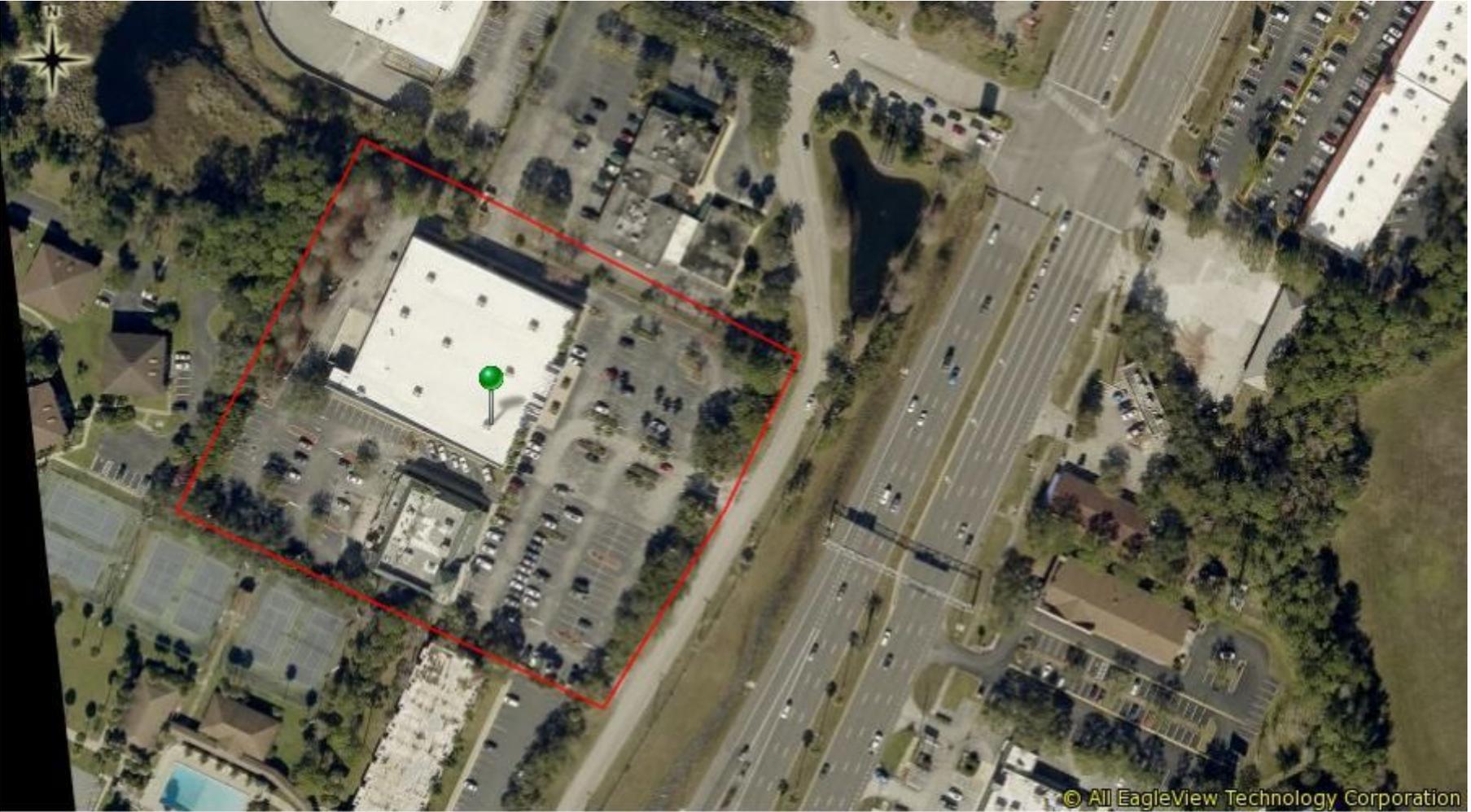
We look forward to seeing you at this meeting if you are interested in discussing this amendment to the existing project.

Sincerely,

**Jessica Gow for
Rob Merrell**

Direct Dial (386) 323-9226
Email Jessica.Gow@CobbCole.com
Fax (386) 323-9207

JLG/tmn



RI CK2 LLC
%REALTY INCOME CORP
11995 EL CAMINO REAL
SAN DIEGO, CA 92130

FINKLESTEIN MAX J
6280 LAKEVIEW RD
LENOIR CITY, TN 37772

DRURY DEVELOPMENT CORPORATION
13075 MANCHESTER RD STE 200
ST LOUIS, MO 63131

EAST COAST WAFFLES INC
5986 FINANCIAL DR
NORCROSS, GA 30071

EMBASSY INVESTMENTS XI LLC
45 SETON TR
ORMOND BEACH, FL 32176

LIFE VILLAGE LLC
745 S NOVA RD
ORMOND BEACH, FL 32174

COUNTY OF VOLUSIA
123 W INDIANA AVE
DELAND, FL 32720

DANZA OF DAYTONA LLC
4526 SHANEWOOD CT
ORLANDO, FL 32827

NEW CAR WASH LLC
1389 PEACHTREE ST
ATLANTA, GA 30309

DAYTONA 418 MANAGEMENT AND INVESTMENT L...
15 ALBEMARLE PL
YONKERS, NY 10701

ANABI REAL ESTATE DEVELOPMENT LLC
1450 N BENSON AVE UNIT A
UPLAND, CA 91786

INTERNATIONAL SPDWY SQ LTD
30 S MERIDIAN ST STE 1100
INDIANAPOLIS, IN 46204

2655 INTL SPEEDWAY LLC
15429 N FLORIDA AVE
TAMPA, FL 33613

ROOT RIVERFRONT PARTNERS LP LTD %ROOT R...
275 CLYDE MORRIS BLVD
ORMOND BEACH, FL 32174

TH DAYTONA BEACH 2595 IS LLC
3000 OLYMPIC BLVD STE 2120
SANTA MONICA, CA 90404

LAMACHYS VILLAGE AT INDIGO LAKES INC
119 VILLAGE PARK DR UNIT 100
DAYTONA BEACH, FL 32114

SPEEDWAY95 LLC % WILLIAM EDMISTON
PO BOX 130
LAKE FOREST, IL 60045

BALAJIO LLC
90 PROFESSIONAL BLVD
DAYTONA BEACH, FL 32114

ROOT RIVERFRONT PARTNERS LP LTD % ROOT R...
275 CLYDE MORRIS BLVD
ORMOND BEACH, FL 32174



NEIGHBORHOOD MEETING NOTICE
A NEIGHBORHOOD MEETING HAS BEEN SCHEDULED ON
3/13/25 AT 6:00pm TO INTRODUCE THE
FOLLOWING APPLICATION FOR THIS PROPERTY:
PDR Rezoning District 666
THE MEETING WILL BE HELD AT THE FOLLOWING LOCATION:
Woodfield Town & Square, 1800 Chestnut Oak Blvd
INTERESTED PARTIES CAN CONTACT Casey Cole
AT 381.323.9004 FOR FURTHER INFORMATION

